

Development Management Committee – 20th July 2026

Application Number: 26/00227/OUT

Proposal: Hybrid planning application: Full planning permission for demolition of existing outbuildings, creation of a new vehicular and pedestrian access, creation of a new driveway and garaging to Victoria House, and conversion of existing annexe to a dwelling (including extensions, remodelling and re-landscaping). Outline planning permission (with all matters reserved except for access) for 5No. dwellings and associated works.

Location: Land At And Including Victoria House, Bluntisham Road, Needingworth

Applicant: Mr and Mrs Smith

Agent: Mr Tom Brown, Atelier Brown Ltd

Case Officer: Richard Fitzjohn

Parish: Holywell-cum-Needingworth

Reason for Referral: This application is referred to the Development Management Committee (DMC) as the Officer recommendation for approval is contrary to the recommendation of Holywell-cum-Needingworth Parish Council.

Committee Date: 20th July 2026

EXECUTIVE SUMMARY OF PROPOSALS AND RECOMMENDATION

RECOMMENDATION: GRANT PERMISSION SUBJECT TO CONDITIONS AND THE COMPLETION OF A UNILATERAL UNDERTAKING TO SECURE A WHEELED BINS CONTRIBUTION, WITH DELEGATED AUTHORITY TO THE HEAD OF PLANNING, INFRASTRUCTURE & PUBLIC PROTECTION TO APPROVE ANY AMENDMENTS TO CONDITIONS AS DEEMED NECESSARY.

Proposal

The application is a hybrid planning application (an application seeking full planning permission for part of the proposed development, and outline planning permission for part of the proposed development). The application seeks:

- Full planning permission for demolition of existing outbuildings, creation of a new vehicular and pedestrian access, creation of a new driveway and garaging to Victoria House, and conversion of existing annexe to a dwelling (including extensions, remodelling and re-landscaping); and
- Outline planning permission (with all matters reserved except for access) for 5No. dwellings and associated works.

Consultations

The following consultees have raised **objections** to the application:

- Holywell-cum-Needingworth Parish Council.

The following consultees have raised **no objections** to the application:

- Local Highway Authority, Urban Design Officer, Environmental Health Officer and Arboricultural Officer.

One letter of objection has been received from a local resident.

Conclusion

The application has been assessed against the relevant policies in the NPPF, the adopted Local Plan and other relevant guidance as listed in detail at Section 4 of the report.

The key issues arising from the application details are:

- Principle of development;
- Visual amenity;
- Flood risk and drainage;
- Residential amenity;
- Highway safety and parking provision;
- Arboriculture;
- Biodiversity;
- Waste storage;
- Accessible and adaptable dwellings;
- Water efficiency;
- Developer contributions (Community Infrastructure Levy); and
- Developer contributions (Wheeled bins).

The report looks into the key planning issues in detail, and Officers conclude that the proposal is acceptable subject to conditions.

Members are advised that the above is a summary of the proposals and key issues contained in the main report below which provides full details of all

consultation responses, planning policies, the Officer's assessment and recommendations, and Members are advised that this summary should be read in conjunction with the detailed report.

MAIN REPORT

1 APPLICATION SITE AND LOCALITY

- 1.1 The site comprises an existing residential property comprising 1No. dwelling (Victoria House) with an associated annexe bungalow and outbuildings. There are also a large number of well-established trees within the site.
- 1.2 The site is located towards the northern edge of Needingworth and is served by an existing access on the north side of Bluntisham Road. The majority of the built-up area of the settlement is located to the south and south-west of the site, and there are also recently constructed residential dwellings located immediately adjacent to the north and east of the site on Wilmer Way and Egret Close. There is agricultural land located immediately adjacent to the west of the site. Due to being surrounded by residential built form on three sides (to the north, east and south), the site forms part of the built-up area of the settlement.
- 1.3 Environment Agency Flood Mapping data and the Huntingdonshire Strategic Flood Risk Assessment (2024) indicate that the proposed development is located within Flood Zone 1 (low probability of flooding from rivers and sea) and is not at any significant risk of flooding from other sources.
- 1.4 The application site is not allocated for development within the Local Plan.

2 DESCRIPTION OF PROPOSED DEVELOPMENT

- 2.1 The application is a hybrid planning application, seeking:
 - Full planning permission for demolition of existing outbuildings, creation of a new vehicular and pedestrian access, creation of a new driveway and garaging to Victoria House, and conversion of existing annexe to a dwelling (including extensions, remodelling and re-landscaping); and
 - Outline planning permission (with all matters reserved except for access) for 5No. dwellings and associated works.
- 2.2 The proposal also includes the provision of off-site highway works, comprising the provision of a new section of footway within the existing grass verge on the northern side of Bluntisham Road, which would connect up to the existing footway on Egret Close and provide an additional uncontrolled crossing to the existing footway on the southern side of Bluntisham Road.
- 2.3 Officers have scrutinised the plans and have familiarised themselves with the site and surrounding area.

3 RELEVANT PLANNING HISTORY

3.1 The following planning history is considered relevant to the current proposal:

- 18/02498/HHFUL - Following receipt of Planning Approval ref: 18/01601/HHFUL. Proposed Single Storey Extension with roof pitch to reflect the existing and amend the window/door arrangement to be sympathetic to the original - Granted 21.01.2019
- 18/01601/HHFUL - Demolish existing conservatory & wall. Construct new single storey side extension - Granted 27.09.2018
- 1300652S73 - Variation of Condition 1 of Planning Permission 0101221S73 to allow use of The Cottage for tourist/holiday accommodation when not in use for ancillary accommodation to Victoria House - Granted 04.07.2013
- 0102785FUL - Extension to dwelling - Granted 18.01.2002
- 0101221S73 - Variation of conditions 1 and 2 imposed on permission 75/1417 restricting the use of the extension - Granted 13.08.2001
- 0002076FUL - Extensions and alterations to dwelling and annexe - Granted 26.01.2001
- 7501417FUL - Extension - Granted 16.02.1976

4 RELEVANT PLANNING POLICY AND GUIDANCE

Statutory Duty

4.1 Planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise. In Huntingdonshire, the Development Plan (as relevant to this application) consists of the Huntingdonshire Local Plan to 2036 (2019) and the Cambridgeshire & Peterborough Minerals and Waste Local Plan (2021).

National Policy and Guidance

4.2 The National Planning Policy Framework (December 2024) (NPPF 2024) sets out the three objectives - economic, social and environmental - of the planning system to contribute to the achievement of sustainable development. The NPPF 2024 at paragraph 10 provides as follows: 'So that sustainable development is pursued in a positive way, at the heart of the Framework is a presumption in favour of sustainable development (paragraph 11).'

4.3 The NPPF 2024 sets out the Government's planning policies for (amongst other things):

- achieving sustainable development;

- delivering a sufficient supply of homes;
 - building a strong, competitive economy;
 - promoting healthy and safe communities;
 - promoting sustainable transport;
 - making effective use of land;
 - achieving well-designed places;
 - meeting the challenge of climate change, flooding and coastal change;
 - conserving and enhancing the natural environment.
- 4.4 Planning Practice Guidance and the National Design Guide are also relevant and material considerations.
- 4.5 For full details visit the government website: <https://www.gov.uk>

Local Planning Policies

- 4.6 Huntingdonshire's Local Plan to 2036 (Adopted May 2019):
- LP1: Amount of Development
 - LP2: Strategy for Development
 - LP4: Contributing to Infrastructure Delivery
 - LP5: Flood Risk
 - LP6: Waste Water Management
 - LP9: Small Settlements
 - LP11: Design Context
 - LP12: Design Implementation
 - LP14: Amenity
 - LP15: Surface Water
 - LP16: Sustainable Travel
 - LP17: Parking Provision and Vehicle Movement
 - LP25: Housing Mix
 - LP30: Biodiversity and Geodiversity
 - LP31: Trees, Woodland, Hedges and Hedgerows

Supplementary Planning Documents (SPD) and Guidance

- 4.7 Huntingdonshire Design Guide SPD (2017)
 Cambridgeshire Flood and Water SPD (2017)
 Huntingdonshire Landscape and Townscape SPD (2022)
 Huntingdonshire Strategic Flood Risk Assessment (2024)
 Environmentally Sustainable Design and Construction SPD (2025)

Local policies and guidance are viewable at: <https://huntingdonshire.gov.uk>

5 RESPONSE TO CONSULTATION

- 5.1 Below is a summary of the consultation responses received at the time of writing this report. Responses are available to view in full on the Council's website.

Consultee Name	Position	Comment
Holywell-cum-Needingworth Parish Council	Objection.	Noted it is a hybrid application which made the debate and resulting resolution more complicated. The plot is of a good size and in principle could accommodate 5 dwellings, but as this part of the application is "outline" it is not definite. The proposal seems to be sympathetic in design. Concerns: • Parking provision and HDC comment on the subject. Members felt that the provision could not be reduced for fear of roadside parking on a bend. • Access needs to be two lanes but with no comments from CCC Highways it is unclear what the requirements will be. • Lack of information with regards to neighbour privacy. • Sewage treatment - marked as unknown. The local sewage works are already under pressure and are pumped out on a regular basis. Comments from AWA would be welcomed. Resolved: That the application be objected to for the aforementioned reasons with members wanting a "full" application for consideration.
Local Highway Authority (LHA)	No objection.	The proposed development is not suitable in design for eventual adoption and would therefore remain private. The submitted drawings indicate: • Visibility splays in accordance with the posted speed of the road. • Access width suitable for serving multiple dwellings.

		• Radii of 6m • Connectivity to the existing pedestrian network. Construction of the proposed offsite works will require a short form 278 agreement with the LHA. The effect of the proposed development upon the Public Highway should be mitigated subject to conditions recommended to secure full details of the layout of the proposed development; appropriate surfacing of roads and footways; closure of the existing access following the bringing into use of the new access; a gates restriction across the new access; appropriate access width; appropriate access construction specification; provision of sufficient space within the site for parking and turning; provision of temporary facilities clear of the public highway for parking, turning, loading and unloading of vehicles during construction; provision of visibility splays in accordance with the submitted details; provision of appropriate kerb radii at the junction of the access with the highway carriageway; adequate drainage measures; and agreement of details for, and provision of, the off-site highway improvement work based on the submitted details.
Urban Offer	Design	Supports. <u>Full application</u> Access: • Retained trees and the proposed boundary wall are located outside of the visibility splays. Parking and garaging serving Victoria House: • Consolidation of parking to the rear of Victoria House is welcomed. Approximately 3 car

		parking spaces are provided (on the driveway), in addition to 2 car parking spaces (within the proposed garage). • The proposed garage materials are acceptable, subject to detailed approval by condition. • Details of surface treatments for the driveway and access should be secured by condition. • Supports the proposed boundary wall details. Conversion of annexe: • The principle is acceptable. • The scale and footprint of the extensions are generally well judged. • The proposed materials are appropriate. • Supportive of the fenestration. • Full details of materials and boundary treatments should be conditioned. <u>Outline application</u> The indicative layout draws inspiration from traditional barn and yard groupings historically associated with the site, and the indicative dwelling heights create a clear hierarchy across the site. Supports this approach in principle. Subject to further refinement at reserved matters stage, it has the potential to reinforce a legible and landscape-led form of development that responds appropriately to the site's edge-of-village context. Provides comments to guide any future Reserved Matters application. <u>Recommendations</u> The application is supported in
--	--	--

		design terms, subject to conditions.
Environmental Health Officer	No objection.	No objection to the proposal.
Arboricultural Officer	Supports.	Several incursions into Root Protection Areas are required, but are to be managed with mitigation such as anti-compaction surfacing and hand digging. The impact once works are completed will be quite low if the Tree Protection Plan and Method Statements are followed closely. The trees and hedges to be removed are of low value and may be compensated for. The most important trees for public amenity are along the roadside and these are to be retained and protected with the formation of a Construction Exclusion Zone. Supports the application - The Tree Survey, Tree Protection Plan and Method Statement demonstrates how damage to the retained trees will be prevented and makes clear which trees need to be removed.
Ecology Officer	No comment at the time of DMC report publication.	N/A

6 RESPONSE TO PUBLICITY

- 6.1 Below is a summary of the neighbour response received at the time of writing this report.
- 6.2 One letter of objection has been received from a local resident, raising the following summarised comments:
- No.1 Egret Close would be directly and disproportionately impacted by this development compared to other neighbouring properties.
 - Unacceptable reduction in privacy and outlook to No.1 Egret Close.
 - The development is being built right along the boundary line of No.1 Egret Close, resulting in harmful overlooking and an overbearing relationship, contrary to Policy LP12 of the Huntingdonshire Local Plan.

- The proposed building would lead to a significant loss of light and overshadowing, materially harming the internal and external living conditions of No.1 Egret Close.
- A shared access drive directly along the rear boundary of the garden of No.1 Egret Close, which would serve up to and potentially over 25 vehicle movements, would cause ongoing disturbance through noise, headlights, fumes and general activity.
- While not opposed to development in principle, strongly believe that the positioning of Building 1 should be removed or fundamentally reconsidered to properly take into account the living conditions of those most directly affected.
- Raise concerns about the cumulative impact of development within the village (citing 70 dwellings already approved, a further 290 dwellings proposed, and 135 dwellings recently built. The village is experiencing a sewage capacity crisis, with approved developments currently on hold for these reasons. During the summer months, sewage odours are severe, and during periods of rainfall, overflow events occur. While the submitted plans refer to a preliminary drainage strategy, this alone is insufficient reassurance. Anglian Water must be fully engaged to demonstrate that the existing infrastructure can cope not only with this proposal, but with the approximately 360 additional dwellings proposed across the village, including these six houses.
- The local primary school, roads, and infrastructure are already operating at or beyond capacity, and continued development without adequate mitigation risks placing unsustainable strain on the village.

7 APPRAISAL

Principle of development

- 7.1 Paragraph 78 of the NPPF requires the Council to identify and update annually a supply of specific deliverable sites sufficient to provide a minimum of five years' worth of housing against our housing requirement.
- 7.2 A substantially revised methodology for calculating local housing need and the reimposition of this as a mandatory approach for establishing housing requirements was introduced on 12th December 2024 in the revised NPPF and associated NPPG (the standard method).
- 7.3 As Huntingdonshire's Local Plan to 2036 (the Local Plan) is now over 5 years old it is necessary to demonstrate a five-year housing land supply (5YHLS) based on the housing requirement set using the standard method. Paragraph 78 of the NPPF also requires provision of a buffer to ensure choice and competition in the market for land.
- 7.4 As Huntingdonshire has successfully exceeded the requirements of the Housing Delivery Test a 5% buffer is required here. The 5-year housing land requirement including a 5% buffer is 5,907 homes. The current 5YHLS is 4,345 homes equivalent to 3.68 years' supply.

- 7.5 As a result of this, the presumption in favour of sustainable development is applied for decision-taking in accordance with paragraph 11 (d) and footnote 8 of the NPPF in relation to applications involving the provision of housing. This is generally referred to as 'the tilted balance'.
- 7.6 While no 5YHLS can be demonstrated, the policies concerned with the supply and location of housing as set out in the Development Strategy chapter (policies LP2, LP7, LP8, LP9 and LP10) of the Local Plan are considered to be out-of-date and can no longer be afforded full weight in the determination of planning applications.
- 7.7 Each planning application will be considered on its own merits and the degree of weight to be attached is a matter for the decision maker.
- 7.8 In assessing this site, whilst policy LP9 (Small Settlements) of the Local Plan is out of date (and so afforded less weight in the determination of this application), it is not to be entirely disregarded. In addition, the overarching principles of sustainable development as defined in paragraph 11 of the NPPF are afforded weight in the determination of this application.
- 7.9 The proposed development is located within the BUA of Needingworth, which is defined as a Small Settlement within the Local Plan. Policy LP9 of the Local Plan states that a proposal that is located within a BUA of a Small Settlement will be supported where the amount and location of development proposed is sustainable in relation to the:
- a. level of service and infrastructure provision within the settlement;
 - b. opportunities for users of the proposed development to access everyday services and facilities by sustainable modes of travel including walking, cycling and public transport;
 - c. effect on the character of the immediate locality and the settlement as a whole.
- 7.10 The proposal includes minor-scale residential development, providing an additional 6No. dwellings within Needingworth. Due to the modest amount of dwellings proposed, the proposal would have minimal impacts on service and infrastructure provision within the settlement. The proposed development is located within close proximity to other dwellings which surround the site on three sides. In addition, there is a footway connection to the centre of the settlement, and a bus stop approximately 90 metres away, on the opposite side of Bluntisham Road. Although it is acknowledged that infrastructure, services and facilities within the settlement are limited, this is generally the case with all small settlements in the District and the location of the proposed development is well connected to the settlement and those public transport links, services and facilities which are available. The amount and location of development proposed is therefore considered to be sustainable in relation to the level of service and infrastructure provision within the settlement, and opportunities for users of the proposed development to access everyday services and facilities by sustainable modes of travel including walking, cycling and public transport.

- 7.11 The proposed development would be viewed within the context of the existing built form within the BUA of the settlement, as it would be surrounded by existing residential development on three sides (Bluntisham Road, Wilmer Way and Egret Close). The density of the proposed development is in keeping with the density of the residential development present immediately adjacent to the north and east on Wilmer Way and Egret Close and is acceptable for its location. It is therefore considered that the amount and location of development proposed is sustainable in relation to its effect on the character of the immediate locality and the settlement as a whole.
- 7.12 For the reasons set out above, it is considered that the proposed development accords with policy LP9 of the Local Plan. In addition, for the reasons set out within the 'Planning Balance and Conclusion' section of this report, it is considered that the proposed development accords with paragraph 11 of the NPPF. The principle of development is therefore considered to be acceptable.

Visual amenity

- 7.13 Policies LP11 and LP12 of the Local Plan requires new development to respond positively to its context, draw inspiration from the key characteristics of its surroundings, and contribute positively to the character and identity of the area.
- 7.14 Due to the hybrid nature of the application, the visual amenity impacts relating to the elements of the proposal seeking full planning permission, and the elements of the proposal seeking outline planning permission, are considered separately below.

Full planning permission for demolition of existing outbuildings, creation of a new vehicular and pedestrian access, creation of a new driveway and garaging to Victoria House, and conversion of existing annexe to a dwelling (including extensions, remodelling and re-landscaping)

- 7.15 The existing outbuildings within the site are not of any significant visual merit or importance and therefore the demolition of them would preserve the character and appearance of the area.
- 7.16 The proposed new vehicular access would be located in approximately the same location as the existing vehicular access and, although it would become a more urban feature within the street scene due to it becoming wider, more formalised and introducing a public footway adjacent to Bluntisham Road, it would be in keeping with the formalised accesses to the recently constructed residential developments at Egret Close and Turnpike Close within close proximity to the site. The application demonstrates that the existing trees fronting the application site, along Bluntisham Road, would be adequately retained as part of the proposed access works with only a small section of low quality hedging to the east of the access to be removed.

- 7.17 The proposed driveway and garage to Victoria House would be located to the rear of the existing dwelling where views from any public aspects would be very limited due to surrounding screening, and they would be subservient in scale and character to the existing dwelling and the size of the retained curtilage for that dwelling. The Urban Design Officer is supportive of the proposed garage and driveway, subject to details of materials which are recommended to be secured by planning conditions.
- 7.18 The existing annexe is also located to the rear of Victoria House in a location which is well screened and not prominently visible from any public aspects. The character and appearance of the existing annexe is already very domestic. The proposed conversion of the annexe to a dwelling would retain its existing single-storey nature and would be sympathetic in scale and character with Victoria House. The Urban Design Officer has stated that the principle of the conversion of the annexe to a dwelling is acceptable, that the scale and footprint of the extensions to it are generally well judged, and that the proposed materials are appropriate. In addition, the Urban Design Officer is supportive of the fenestration on the proposed dwelling. Planning conditions are recommended requiring full details of materials and boundary treatments to be agreed with the Local Planning Authority.
- 7.19 For the reasons set out above, it is considered that the elements of the proposal seeking full planning permission respond positively to the context and key characteristics of the surroundings, and contribute positively to the character and identity of the area, in accordance with policies LP11 and LP12 of the Local Plan.

Outline planning permission (with all matters reserved except for access) for 5No. dwellings and associated works.

- 7.20 The visual amenity impacts of the proposed access have already been considered within this report and, as previously stated, are considered to be acceptable.
- 7.21 The proposed development would be surrounded by residential development to the north, east and south of the site (Wilmer Way, Egret Close and Bluntisham Road). The proposed development would be contained within the existing boundaries of land associated with Victoria House and would not encroach into the countryside. Due to its location, and physical relationship with the residential developments of Wilmer Way and Egret Close which have recently been constructed adjacent to the north and east of the site, the proposed new dwellings would be viewed within the visual context of those adjacent residential developments which define the character and identity of the immediate surrounding area on the north side of Bluntisham Road. The proposed development therefore responds positively to the context, character and identity of the area in terms of its location.
- 7.22 The application is accompanied by an indicative layout demonstrating that 5No. dwellings could be accommodated within the area of the application site relating

to the outline element of the application, with a density and layout which is in keeping with the adjacent residential properties on Wilmer Way and Egret Close and is acceptable for its location. The Urban Design Officer has stated that the indicative layout draws inspiration from traditional barn and yard groupings historically associated with the site, and the indicative dwelling heights create a clear hierarchy across the site. The Urban Design Officer supports this approach in principle, stating that it has the potential to reinforce a legible and landscaped form of development that responds appropriately to the site's edge-of-village context, subject to further refinement which could be addressed at Reserved Matters stage should planning permission be granted.

- 7.23 Although the application is accompanied by indicative details of the proposed development within the outline area of the application site, those details are purely indicative to demonstrate how 5No. dwellings could potentially be accommodated within the site. Matters relating to the appearance, landscaping, layout and scale of the proposed development are reserved at this stage. However, for the purposes of assessing the current application, the indicative details demonstrate that 5No. dwellings could be accommodated within the site, whilst responding positively to the context and key characteristics of the surroundings, and contributing positively to the character and identity of the area, in accordance with policies LP11 and LP12 of the Local Plan.

Flood risk and drainage

- 7.24 Policy LP5 of the Local Plan states that a proposal will only be supported where all forms of flood risk, including breaches of flood defences or other defence failures, have been addressed, as detailed in the National Planning Practice Guidance and with reference to the Cambridgeshire Flood and Water Supplementary Planning Document (SPD), such that:
- a. the sequential approach and sequential test are applied and passed, having regard to actual and residual flood risk and including consideration of the impact of climate change;
 - b. if necessary the exception test is applied and passed;
 - c. development has been sequentially located within the site to avoid flood risk;
 - d. all reasonable opportunities to reduce overall flood risk have been considered and where possible taken;
 - e. the integrity of existing flood defences is not adversely affected and any necessary flood mitigation and compensation measures have been agreed with relevant bodies and the Council; and
 - f. the requirements relating to flood risk set out in the Cambridgeshire Flood and Water SPD have been applied.
- 7.25 Policy LP6 of the Local Plan sets out the approach necessary to ensure that waste water capacity is maintained within the public sewer network throughout the Local Plan period.
- 7.26 Policy LP15 of the Local Plan supports proposals which incorporate sustainable drainage systems in accordance with the Cambridgeshire Flood and Water SPD unless demonstrated to be inappropriate.

- 7.27 Paragraph 174 of the NPPF states that the aim of the sequential test is to steer new development to areas with the lowest risk of flooding from any source.
- 7.28 Guidance contained within Section 4 of the Cambridgeshire Flood and Water SPD is consistent with policy LP5 of the Local Plan and the provisions of the NPPF.
- 7.29 Environment Agency Flood Mapping data and the Huntingdonshire Strategic Flood Risk Assessment (2024) indicate that the proposed development is located within Flood Zone 1 (low probability of flooding from rivers and sea) and is not at any significant risk of flooding from other sources. Therefore, the proposed development is sequentially located in an appropriate location for residential development in flood risk terms, in accordance with policy 5 of the Local Plan and paragraph 174 of the NPPF. The exception test is not required in this instance.
- 7.30 The proposal is for a minor development within an area which is not identified as being at any significant risk of fluvial or surface water flooding. The application form states that surface water from the proposed development will be disposed of via a sustainable drainage system / soakaway, which is the preferred method of surface water disposal within the drainage hierarchy specified within the Cambridgeshire Flood and Water SPD and is therefore acceptable in principle. A condition is recommended requiring a surface water drainage scheme to be agreed with the Local Planning Authority.
- 7.31 The proposed development states that the method of foul water disposal is unknown. Due to the proposal being for a minor residential development, it does not meet the threshold for consultation with Anglian Water and it is not necessary for a foul water drainage scheme to be agreed prior to determination of the application. Therefore, a condition is recommended requiring a foul water drainage scheme to be agreed with the Local Planning Authority.
- 7.32 It is therefore considered that the proposed development would have acceptable flood risk and drainage impacts, in accordance with policies LP5, LP6 and LP15 of the Local Plan, the provisions of the NPPF and NPPG, and guidance contained within Section 4 of the Cambridgeshire Flood and Water SPD.

Residential amenity

- 7.33 Policy LP14 of the Local Plan states a proposal will be supported where a high standard of amenity is provided for all users and occupiers of the proposed development and maintained for users and occupiers of neighbouring land and buildings.
- 7.34 Due to the hybrid nature of the application, the residential amenity impacts relating to the elements of the proposal seeking full planning permission, and the elements of the proposal seeking outline planning permission, are considered separately below.

Full planning permission for demolition of existing outbuildings, creation of a new vehicular and pedestrian access, creation of a new driveway and garaging to Victoria House, and conversion of existing annexe to a dwelling (including extensions, remodelling and re-landscaping)

- 7.35 The closest residential dwellings to the proposed development are those located on Wilmer Way and Egret Close to the north and east of the site, in addition to those located on Bluntisham Road to the south of the site.
- 7.36 The proposed vehicular access would be located approximately 17.5 metres from the rear boundary of the garden to No.1 Egret Close. The indicative site layout indicates that the proposed vehicular access would lead to a shared surface road within the site which may be located approximately 8 metres from the boundaries of other properties of Egret Close further north within the site. With consideration given to its generous separation distance from the boundaries of the residential properties located on Egret Close, and as it would serve only 7No. dwellings, it is considered that the proposed access and shared surface road would not result in any significant noise or light, or any other significant forms of disturbance, to any neighbouring properties.
- 7.37 The proposed new driveway and garaging to Victoria house, and the proposed annexe conversion to a dwelling, would be located on the western side of the shared surface road, an even greater distance from the neighbouring dwellings. Due to their modest scale, and their generous separation distance from the boundaries of the residential properties located on Egret Close, it is considered that they would not result in any significant residential amenity impacts to any neighbouring properties.
- 7.38 The proposed dwelling has been designed with a high standard of amenity, including acceptable internal and external space standards and acceptable levels of privacy and light.
- 7.39 The Environmental Health Officer has not raised any concerns regarding residential amenity impacts to neighbouring properties and has no objection to the proposed development.
- 7.40 It is therefore considered that the elements of the proposed development seeking full planning permission would provide a high standard of amenity for occupiers of the proposed dwellings, and would maintain a high standard of amenity for occupiers of neighbouring properties, in accordance with policy LP14 of the Local Plan.

Outline planning permission (with all matters reserved except for access) for 5No. dwellings and associated works.

- 7.41 The indicative layout demonstrates that Plots 4, 5 and 6 could be sited in a linear form to the side of No.7 Egret Close, though set slightly further north than the rear elevation of this neighbouring dwelling. The indicative layout demonstrates

that three dwellings could be sited in this location without resulting in any significant residential amenity impacts (including loss of light, loss of privacy or loss of outlook) to these neighbouring dwellings or gardens. The indicative layout also indicates that the rear elevation of Plots 4, 5 and 6 would be located approximately 14 metres from the northern boundary of the site and would face north towards an area of open space and a front garden of No.15 Wilmer Way, not resulting in any significant residential amenity impacts to No.15 Wilmer Way or any other properties further to the north of the site.

- 7.42 The indicative layout demonstrates that Plot 3 could be sited with its front elevation facing towards the rear gardens of properties on Egret Close to the east of the site, and its rear elevation facing towards an agricultural field to the west of the site. The indicative siting of Plot 3 indicates a separation distance of approximately 17 metres between the front elevation of the dwelling and the nearest rear boundaries of gardens on Egret Close, demonstrating that a dwelling could be accommodated in this location with a generous separation distance preventing any significant detrimental impacts to the residential amenity of properties on Egret Close.
- 7.43 The indicative layout demonstrates that Plot 1 could be sited adjacent to the west of the rear garden boundaries of No's 1-3 Egret Close. Although the indicative plan indicates the dwelling of Plot 1 immediately adjacent to the rear boundaries of No's 1-2 Egret Close, this layout is indicative only and is not a matter for consideration under the current application. The indicative plan indicates that, within the general area of Plot 1, a dwelling could be acceptably designed at Reserved Matter stage which would have sufficient separation and residential amenity impacts in relation to the residential dwellings and gardens of neighbouring properties located on Egret Close.
- 7.44 Although the application is accompanied by indicative details of the proposed development within the outline area of the application site, those details are purely indicative to demonstrate how 5No. dwellings could potentially be accommodated within the site. Matters relating to the appearance, landscaping, layout and scale of the proposed development are reserved at this stage. However, for the purposes of assessing the current application, the indicative details demonstrate that 5No. dwellings could be accommodated within the site which provide a high standard of amenity for occupiers of the proposed dwellings, and maintain a high standard of amenity for occupiers of neighbouring properties, in accordance with policy LP14 of the Local Plan.

Highway safety, public rights of way and parking provision

- 7.45 Policy LP16 of the Local Plan supports proposals which demonstrate that opportunities for sustainable travel modes are maximised and safe access from the public highway (including the rights of way network) can be achieved. In addition, policy LP17 of the Local Plan supports proposals which incorporate appropriate space for vehicle movements, facilitates access for emergency vehicles and service vehicles and incorporates adequate parking for vehicles and cycles.

- 7.46 Due to the small scale of the proposed development, any impacts in relation to sustainable travel would be very limited. However, the location of the proposed development is sufficiently connected to the settlement and nearest bus stop in terms of distance and footway connections. The proposed development would provide a new section of footway within the existing grass verge on the northern side of Bluntisham Road, which would connect up to the existing footway on Egret Close and provide an additional uncontrolled crossing to the existing footway on the southern side of Bluntisham Road. In addition, details of cycle parking provision can be secured by planning conditions / approval of Reserved Matters, in any event of planning permission being approved. Therefore, with consideration given to paragraph 110 of the NPPF, which states that decision-making should take into account that 'opportunities to maximise sustainable transport solutions will vary between urban and rural areas', the proposed development demonstrates that opportunities for sustainable travel modes are appropriately and proportionately maximised in the context of the minor scale of the proposed development and its location within a small rural settlement.
- 7.47 The Local Highway Authority states that the submitted drawings indicate visibility splays in accordance with the posted speed of the road, an access width suitable for serving multiple dwellings, radii of 6 metres and connectivity to the existing pedestrian network. Furthermore, the Local Planning Authority states that the effect of the proposed development upon the public highway should be mitigated, subject to recommended conditions to secure the following:
- Full details of the layout of the proposed development;
 - Appropriate surfacing of roads and footways;
 - Closure of the existing access following the bringing into use of the new access;
 - A gates restriction across the new access;
 - Appropriate access width;
 - Appropriate access construction specification;
 - Provision of sufficient space within the site for parking and turning;
 - Provision of temporary facilities clear of the public highway for parking, turning, loading and unloading of vehicles during construction;
 - Provision of visibility splays in accordance with the submitted details;
 - Provision of appropriate kerb radii at the junction of the access with the highway carriageway;
 - Adequate drainage measures; and
 - Agreement of details for, and provision of, the off-site highway improvement work based on the submitted details.
- 7.48 Conditions are recommended to secure the requirements requested by the Local Highway Authority.
- 7.49 The Local Highway Authority also states that the proposed development is not suitable in design for eventual adoption and would therefore remain private. It is not a requirement for roads within the new development to be adopted by the Local Highway Authority. A condition is recommended requiring the details of

future management and maintenance of the roads/footways to be agreed with the Local Planning Authority.

- 7.50 The proposed development would provide driveway parking for approximately three cars, and a garage which would provide additional car parking space, for Victoria House. The proposed development would provide driveway parking for two cars for the dwelling subject to the annexe conversion. In addition, the indicative layout relating to the outline element of the application demonstrates that sufficient space could be accommodated within the site for a minimum of two car parking spaces per dwelling (which could be accommodated through a combination of driveway and garage parking, subject to details being agreed at Reserved Matters stage in any event of planning permission being granted). The Local Plan does not defined any specific parking standard requirements for residential developments, however the provision of a minimum of two car parking spaces per dwelling is considered to be adequate.
- 7.51 Therefore, with consideration given to the recommendations of the Local Highway Authority, it is considered that the proposed development would have acceptable impacts on sustainable travel, highway safety and parking provision, in accordance with policies LP16 and LP17 of the Local Plan.

Arboriculture

- 7.52 Policy LP31 of the Local Plan states that a proposal will only be supported where it seeks to conserve and enhance any existing tree, woodland, hedge or hedgerow of value that would be affected by the proposed development and, in such cases, the proposal will be expected to make reference to and follow the guidance contained in the Council's A Tree Strategy for Huntingdonshire (2015) or successor documents. In addition, policy LP31 states that loss, threat or damage to any tree, woodland, hedge or hedgerow of visual, heritage or nature conservation value will only be acceptable where it is addressed firstly by seeking to avoid the impact, then to minimise the impact and finally where appropriate to include mitigation measures; or there are sound arboricultural reasons to support the proposal.
- 7.53 The application site contains a significant number of trees. Although none of the trees within the site are subject to any formal protection, some of the trees (most notably those located along the site frontage adjacent to Bluntisham Road, and some along eastern boundary adjacent to the rear gardens of properties on Egret Close) provide a positive contribution to the visual amenity of the area. The Arboricultural Officer states that the most important trees for public amenity are along the roadside and these are to be retained and protected with the formation of a Construction Exclusion Zone.
- 7.54 The application is accompanied by an Arboricultural Report which demonstrates that the high specimen trees providing the most important contributions to the visual amenity of the area would be retained, and only Category C (low quality) trees and hedging would be removed. In respect of the trees and hedging which

are indicated to be removed, the Arboricultural Officer states that they are of low value and may be compensated for.

- 7.55 In respect of the trees which are indicated to be retained, the Arboricultural Officer has stated that incursions into Root Protections are to be managed with mitigation such as anti-compaction surfacing and hand digging, and that the impact once works are completed will be quite low if the Tree Protection Plan and Method Statements are followed closely. The Arboricultural Report demonstrates how damage could be prevented to the trees indicated to be retained. Conditions are recommended to ensure adequate protection of existing trees and the implementation of a high quality soft landscaping scheme.
- 7.56 It is therefore considered that the proposed development would adequately conserve and enhance trees and hedging of value, in accordance with policy LP31 of the Local Plan.

Biodiversity

- 7.57 Policy LP30 of the Local Plan states that a proposal will be required to demonstrate that all potential adverse impacts on biodiversity have been investigated, and that a proposal that is likely to have an impact on biodiversity will need to be accompanied by an appropriate appraisal identifying all individual and cumulative potential impacts on biodiversity, with any further research that is identified as necessary by the appraisal being carried out and submitted with the proposal. In addition, policy LP30 requires new development to ensure there is no net loss in biodiversity and provide a net gain where possible.
- 7.58 The application is accompanied by a Preliminary Ecological Appraisal and Biodiversity Net Gain Assessment. The Preliminary Ecological Appraisal recommended that a bat emergence survey was undertaken for some of the buildings within the site. A bat emergency survey has subsequently been submitted during the course of the application. The survey indicates that no bat roosts were present within the buildings, and that there would be negligible impacts on local bird populations and foraging and commuting bats. The Preliminary Ecological Appraisal indicates that the proposed development would also not result in any other adverse ecological impacts or constraints (including to protected and priority species).
- 7.59 It is therefore considered that the proposed development would have acceptable biodiversity impacts, in accordance with policy LP30 of the Local Plan.
- 7.60 In accordance with Schedule 7A of the Town and Country Planning Act 1990, as inserted by the Environment Act 2021 and amended by the Levelling Up and Regeneration Act 2023, this development is subject to the mandatory requirement to deliver at least a 10% Biodiversity Net Gain (BNG). The Biodiversity Net Gain Assessment indicates a 2.5% on-site gain in habitat units and a 90.96% on-site gain in hedgerow units. Although the Biodiversity Net Gain Assessment does not demonstrate a 10% BNG for habitat units, it does provide the baseline value of the application site and therefore BNG could be secured

by a planning condition in any event of planning permission being granted, in accordance with the requirements of Schedule 7A of the Town and Country Planning Act 1990. This would also ensure compliance with policy LP30 of the Local Plan.

Waste storage

- 7.61 Policy LP14 of the Local Plan states a proposal will be required to ensure adequate and accessible waste storage is provided, avoiding adverse impacts. In addition, the Huntingdonshire Design Guide SPD states that the location of bin collection points should be carefully considered to ensure ease of access and the amenity of nearby residents is not adversely affected; and that bin storage should be designed with sufficient capacity to accommodate the applicable containers, discreet when viewed from the public realm, protected from weather and animal interference, and designed to enable ease of access to bins on collection day.
- 7.62 The application does not provide details of waste storage. However, there is adequate space within the site to ensure that adequate waste storage can be achieved, in accordance with policy LP14 of the Local Plan and the Huntingdonshire Design Guide SPD. A condition is recommended to secure provision, and agree the details of the siting and design, of adequate and accessible waste storage facilities within the site.

Accessible and adaptable dwellings

- 7.63 Policy LP25 of the Local Plan to 2036 requires proposals that include housing to meet the optional Building Regulation requirement M4(2)" Accessible and adaptable dwellings" unless it can be demonstrated that site specific factors make this unachievable. A condition is recommended to this.

Water efficiency

- 7.64 Policy LP12 of the Local Plan to 2036 requires proposals that include housing to comply with the optional building regulation for water efficiency, as set out in Approved Document G. A condition is recommended to this.

Developer contributions (Community Infrastructure Levy)

- 7.65 The development will be Community Infrastructure Levy (CIL) liable in accordance with the Council's adopted charging schedule; CIL payments will cover footpaths and access, health, community facilities, libraries and lifelong learning and education.

Developer contributions (Wheeled bins)

- 7.66 In order to accord with the requirements of Policy LP4 of the Local Plan to 2036 and the Developer Contribution SPD, it will be necessary for the Applicant to complete a Unilateral Undertaking securing the provision of a financial

contribution for the provision of wheeled bins to serve the proposed dwellings. The application is recommended for approval subject to the completion of a Unilateral Agreement.

8 PLANNING BALANCE AND CONCLUSION

- 8.1 Planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise.
- 8.2 NPPF paragraph 78 requires the Council to identify and update annually a supply of specific deliverable sites, sufficient to provide a minimum of five years' worth of housing, against the Council's housing requirement. A substantially revised methodology for calculating local housing need and the reimposition of this as a mandatory approach for establishing housing requirements was introduced on 12th December 2024 in the revised NPPF and associated NPPG (the standard method).
- 8.3 As Huntingdonshire's Local Plan to 2036 (the Local Plan) is now over 5 years old it is necessary to demonstrate a five-year housing land supply (5YHLS) based on the housing requirement set using the standard method. Paragraph 78 of the NPPF also requires provision of a buffer to ensure choice and competition in the market for land. As Huntingdonshire has successfully exceeded the requirements of the Housing Delivery Test a 5% buffer is required here. The 5-year housing land requirement including a 5% buffer is 5,907 homes. The current 5YHLS is 4,345 homes equivalent to 3.68 years' supply.
- 8.4 As a result of this, the presumption in favour of sustainable development is applied for decision-taking in accordance with paragraph 11 (d) and footnote 8 of the NPPF in relation to applications involving the provision of housing. This is generally referred to as 'the tilted balance'.
- 8.5 The proposed development would provide 6No. additional dwellings towards the district's housing supply. As the Council cannot currently demonstrate an adequate 5YHLS, this benefit is afforded significant weight in favour of the application.
- 8.6 The proposed development would contribute towards economic growth, including job creation - during the construction phase and in the longer term through the additional population assisting the local economy through spending on local services/facilities. This benefit is afforded moderate weight in favour of the application.
- 8.7 The proposed development would also be required to provide a Biodiversity Net Gain, which would be secured by a planning condition. This benefit is afforded moderate weight in the planning balance.
- 8.8 For the reasons set out within the report, it is considered that the principle of development is acceptable and (subject to Reserved Matters, conditions and a

the Applicant agreeing a Unilateral Undertaking) the proposed development would not cause any significant harmful impacts in respect of visual amenity, flood risk and drainage, residential amenity, highway safety and parking provision, arboriculture, biodiversity, waste storage, accessible and adaptable dwellings, water efficiency, developer contributions.

- 8.9 On balance, it is considered that the adverse impacts of granting planning permission would not significantly and demonstrably outweigh the benefits of doing so when assessed against the policies in the NPPF taken as a whole, having particular regard to key policies for directing development to sustainable locations, making effective use of land and securing well-designed places. Therefore, in accordance with the presumption in favour of sustainable development, as set out within paragraph 11 of the NPPF, it is recommended that planning permission is granted.

9 RECOMMENDATION/CONDITIONS AND REASONS

- 9.1 Grant permission subject to conditions as set out below and the completion of a Unilateral Undertaking to secure a wheeled bins contribution, with delegated authority to the Head of Planning, Infrastructure & Public Protection to approve any amendments to conditions as deemed necessary.

Conditions for the full element of the application (full wording)

Time limit

1. The development hereby permitted shall be begun before the expiration of three years from the date of this permission.

Reason: To comply with the provisions of Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004.

Approved plans

2. The development hereby permitted shall be carried out in accordance with the approved plans listed in the table above.

Reason: For the avoidance of doubt and to facilitate any future application to the Local Planning Authority under Section 73 of the Town and Country Planning Act 1990.

Road surfacing

3. Prior to the first occupation of the dwelling (Plot 2) hereby approved, the shared surface road shall be constructed to at least binder course surfacing level from the driveway of the dwelling to the adjoining highway carriageway (Bluntisham Road), in accordance with drawing no. JG01 Revision A.

Reason: In the interests of highway safety and to ensure satisfactory access into the site, in accordance with policies LP12, LP16 and LP17 of the Huntingdonshire Local Plan to 2036.

Closure of existing vehicular access

4. The existing access to Victoria House shall be permanently and effectively closed, and the highway verge shall be reinstated with grass on the west side of the new access in accordance with drawing no. JG01 Revision A, within 28 days of the bringing into use of the new access.

Reason: In the interests of highway safety and to ensure satisfactory access into the site, in accordance with policies LP12, LP16 and LP17 of the Huntingdonshire Local Plan to 2036.

Gates restriction

5. Notwithstanding the provision of Class A of Schedule 2, Part 2 of the Town and Country Planning (General Permitted Development) Order 2015, (or any order revoking, amending or re-enacting that order) no gates shall be erected across the approved access unless details have first been submitted to, and approved in writing by, the Local Planning Authority.

Reason: In the interests of highway safety and to ensure satisfactory access into the site, in accordance with policies LP12, LP16 and LP17 of the Huntingdonshire Local Plan to 2036.

Access width

6. The access shall be a minimum width of 6m, for a minimum distance of 10m measured from the near edge of the highway carriageway (Bluntisham Road).

Reason: In the interests of highway safety and to ensure satisfactory access into the site, in accordance with policies LP12, LP16 and LP17 of the Huntingdonshire Local Plan to 2036.

Highway construction specification

7. Prior to first occupation of the dwelling (Plot 2) hereby approved, the vehicular access, where it crosses the public highway, shall be laid out and constructed in accordance with the Cambridgeshire County Council construction specification.

Reason: In the interests of highway safety and to ensure satisfactory access into the site, in accordance with policies LP12, LP16 and LP17 of the Huntingdonshire Local Plan to 2036.

Parking and turning provision

8. Prior to the first occupation of the dwelling (Plot 2) hereby approved, the car parking and turning areas serving Victoria House and Plot 2 shall be laid out in accordance with drawing no. 150 Revision P02. The area shall be levelled, surfaced and drained and thereafter retained for that specific use in perpetuity.

Reason: In the interests of highway safety, in accordance with policies LP12, LP16 and LP17 of the Huntingdonshire Local Plan to 2036.

Temporary facilities for construction vehicles

9. Temporary facilities shall be provided clear of the public highway for the parking, turning, loading and unloading of all vehicles visiting the site during the period of construction and demolition.

Reason: In the interests of highway safety, in accordance with policies LP12, LP16 and LP17 of the Huntingdonshire Local Plan to 2036.

Visibility splays

10. Prior to the first occupation of the dwelling (Plot 2) hereby approved, visibility splays shall be provided each side of the vehicular access in full accordance with the details indicated on drawing no. JG02 Revision B. The visibility splays shall thereafter be maintained free from any obstruction exceeding 0.6m above the level of the adjacent highway carriageway in perpetuity.

Reason: In the interests of highway safety, in accordance with policies LP12, LP16 and LP17 of the Huntingdonshire Local Plan to 2036.

Access radii

11. Prior to the first occupation of the dwelling (Plot 2) hereby approved, the junction of the access with the highway carriageway (Bluntisham Road) shall be laid out with 6m radius kerbs.

Reason: In the interests of highway safety and to ensure satisfactory access into the site, in accordance with policies LP12, LP16 and LP17 of the Huntingdonshire Local Plan to 2036.

Access drainage measures

12. Prior to first occupation of the dwelling (Plot 2) hereby approved, the access shall be constructed with adequate drainage measures to prevent surface water run-off onto the adjacent public highway, in accordance with a scheme to be submitted to, and approved in writing by, the Local Planning Authority.

Reason: To prevent surface water discharging onto the public highway, in the interests of highway safety, in accordance with policies LP12, LP16 and LP17 of the Huntingdonshire Local Plan to 2036.

Access road surfacing

13. A metalled surface shall be provided for a minimum distance of 10m along the access road from its junction with the public highway (Bluntisham Road).

Reason: To prevent mud and extraneous material being deposited on the highway, in the interests of highway safety, in accordance with policies LP12, LP16 and LP17 of the Huntingdonshire Local Plan to 2036.

Off-site highway improvement works

14. Prior to first occupation of the dwelling (Plot 2) hereby approved, a detailed scheme for the provision of the off-site highway improvement works, based on the details specified on drawing no. JG02 rev B, shall be submitted to, and agreed in writing by, the Local Planning Authority. The off-site highway improvement works shall be completed in full accordance with the approved scheme prior to first occupation of the dwelling (Plot 2) hereby approved.

Reason: To ensure that the highway network is adequate to cater for the development proposed, and to ensure safe and suitable pedestrian access for future residents, in accordance with policies LP12, LP16 and LP17 of the Huntingdonshire Local Plan to 2036.

Hard and soft landscape details

15. No development above slab level shall take place, other than demolition, until details of both hard and soft landscape works have been submitted to, and approved in writing by, the Local Planning Authority. These details shall include:
 - a) indications of all existing trees and hedgerows on the land and details of any to be retained; planting plans (which show the relationship to all underground services); written specifications (including cultivation and other operations associated with plant and grass establishment); schedules of plants, noting species, plant sizes and proposed numbers/densities where appropriate;
 - (b) boundary treatments indicating the positions, design, materials and type of boundary treatments to be erected; and
 - (c) a hard landscaping plan, indicating location, manufacturer, type, colour and size.

Reason: To ensure the development is satisfactorily assimilated into the area and enhances biodiversity, in accordance with Policies LP11, LP12 and LP31 of the Huntingdonshire Local Plan to 2036.

Landscape implementation

16. All hard and soft landscape works shall be carried out and maintained in accordance with the approved details. The works shall be carried out prior to the occupation of any part of the development or in accordance with a programme agreed in writing with the Local Planning Authority. If within a period of five years from the date of the planting, or replacement planting, any tree or plant is removed, uprooted or destroyed or dies, another tree or plant of the same species and size as that originally planted shall be planted at the same place during the current or next planting season.

Reason: To ensure the development is satisfactorily assimilated into the area and enhances biodiversity in accordance with Policies LP11, LP12 and LP31 of the Huntingdonshire Local Plan to 2036.

External Material Details

17. No development shall take place above slab level, other than demolition, until details of the external materials to be used in the construction of the development have been submitted to, and approved in writing by, the Local Planning Authority. Development shall be carried out in accordance with the approved details.

Reason: To ensure the external appearance of the development does not detract from the character and appearance of the area, in accordance with policy LP12 of the Huntingdonshire Local Plan to 2036.

External Lighting Scheme

18. No external lighting shall be provided or installed other than in accordance with a scheme which has been submitted to, and approved in writing by, the Local Planning Authority. The scheme shall be carried out in accordance with the approved scheme and shall be retained as such.

Reason: To minimise the effects of light pollution on the surrounding area and to protect biodiversity interests, in accordance with Policies LP14 and LP30 of the Huntingdonshire Local Plan to 2036.

Foul water drainage scheme

19. No development above ground level shall commence on the dwelling (Plot 2) hereby approved until a scheme for the provision and implementation of foul water drainage for the dwelling has been submitted to, and approved in writing by, the Local Planning Authority. The scheme shall subsequently be implemented in accordance with the approved details prior to first occupation of the dwelling, or in accordance with an implementation programme agreed in writing with the Local Planning Authority.

Reason: To reduce the risk of pollution to the water environment and to ensure a satisfactory method of foul water drainage, in accordance with policies LP6 and LP37 of the Huntingdonshire Local Plan to 2036.

Surface water drainage scheme

20. No development above ground level shall commence on the dwelling (Plot 2) hereby approved until a scheme for the provision and implementation of surface water drainage has been submitted to, and approved in writing by, the Local Planning Authority. The scheme shall be implemented in accordance with the approved details prior to first occupation of the dwelling, or in accordance with an implementation programme agreed in writing with the Local Planning Authority.

Reason: To ensure a satisfactory method of surface water drainage and to prevent the increased risk of flooding, in accordance with policies LP5, LP12 and LP15 of the Huntingdonshire Local Plan to 2036.

Tree protection

21. The development hereby permitted shall be carried out in accordance with the Arboricultural Method Statement and tree protection measures specified within the Tree Survey, arboricultural impact assessment and arboricultural method statement, received by the Local Planning Authority on 15th June 2026, unless otherwise agreed in writing by the Local Planning Authority. The approved tree protection measures shall be implemented prior to the commencement of any development and shall be retained intact for the duration of the construction, demolition and service installation works. The approved arboricultural methods shall be adhered to throughout the duration of the construction, demolition and service installation works. Any trees or hedges covered by the protection measures which die or become severely damaged within five years from the completion of the construction works shall be replaced with trees or hedge plants of similar size and species.

Reason: To safeguard the retained trees and hedges on and adjacent to the site and in the interests of visual amenity, and to enhance the character and appearance of the site, in accordance with Policies LP12 and LP31 of the Huntingdonshire Local Plan to 2036.

Cycle storage

22. Prior to first occupation of the dwelling (Plot 2) hereby approved, details of the facilities for the provision of secure cycle parking for use in connection with the dwelling shall be submitted to, and approved in writing by, the Local Planning Authority. The details shall include the siting, means of enclosure and cycle rack system (where relevant), appearance and materials. The facilities shall be provided in accordance with the approved details prior to first occupation of the dwelling and shall be retained as such.

Reason: To ensure appropriate provision for the secure storage of bicycles to encourage sustainable travel, in accordance with policies LP12, LP16 and LP17 of the Huntingdonshire Local Plan to 2036 and the Huntingdonshire Design Guide SPD 2017.

Bin storage

23. Prior to first occupation of the dwelling (Plot 2) hereby approved, details of the provision of a bin store for use in connection with the development shall be submitted to, and approved in writing by, the Local Planning Authority. The details shall include, siting, means of enclosure, appearance and materials where appropriate. The facilities shall be provided in accordance with the approved details prior to first occupation of the dwelling and shall be retained and only used as such.

Reason: To ensure appropriate provision for the secure storage of bins, in accordance with policy LP12 the Huntingdonshire Local Plan to 2036 and the Huntingdonshire Design Guide SPD 2017.

M4(2) standards

24. The dwelling (Plot 2) hereby permitted, shall be constructed and fitted out to comply with the Building Regulations 2010 (as amended) optional requirement M4(2) 'accessible and adaptable' (or replacement standard), prior to occupation. Such provision shall be maintained for the lifetime of the development.

Reason: To ensure the dwelling is accessible and adaptable, in accordance with policy LP25 of the Huntingdonshire Local Plan to 2036.

Water efficiency

25. The dwelling (Plot 2) hereby permitted, shall be constructed and fitted out to comply with the Building Regulations 2010 (as amended) optional requirement for water efficiency, as set out in Approved Document G (or replacement standards) prior to first occupation. Such provision shall be maintained for the lifetime of the development.

Reason: To ensure adequate water efficiency, in accordance with policy LP12j of the Huntingdonshire Local Plan to 2036.

Construction and demolition hours

26. No construction work or demolition work shall be carried out and no plant or power operated machinery operated other than between the following hours: 0800 hours and 1800 hours on Monday to Friday, 0800 hours and 1300 hours on Saturday and at no time on Sundays, Bank or Public Holidays.

Reason: To protect the amenity of the adjoining properties, in accordance with policy LP14 of the Huntingdonshire Local Plan to 2036.

Piling

27. In the event of piling, no development shall commence until a method statement detailing the type of piling, mitigation measures and monitoring to protect local residents from noise and/or vibration has been submitted to, and approved in writing by, the Local Planning Authority. Potential noise and vibration levels at the nearest noise sensitive locations shall be assessed in accordance with the provisions of BS 5228-1&2:2009 Code of Practice for noise and vibration control on construction and open sites. Development shall be carried out in accordance with the approved method statement.

Reason: This is a pre-commencement condition to ensure, before any development commences, that the amenity of nearby properties is protected, in accordance with policy LP14 of the Huntingdonshire Local Plan to 2036.

Biodiversity mitigation measures

28. The development hereby approved shall be carried out in accordance with the mitigation measures (with the exception of the bat emergence survey which has already been carried out) specified on pages 56-59 of the Preliminary Ecological Appraisal Report & Biodiversity Net Gain Assessment, received by the Local Planning Authority on 4th February 2026.

Reason: To mitigate biodiversity impacts, in accordance with policy LP30 of the Huntingdonshire Local Plan to 2036.

Biodiversity Net Gain

29. The development (including site clearance and ground works) shall not commence until:
- a) A biodiversity net gain plan to achieve 10% biodiversity net gain (BNG) has been submitted to the planning authority; and
 - b) The planning authority has approved the plan.

The biodiversity net gain plan shall include, but shall not be limited to, the following:

- i) The completed metric calculation tool showing the calculations of the predevelopment and post intervention biodiversity values.
- ii) Pre and post development habitat plans
- iii) Legal agreement(s) where on site biodiversity net gain is proposed
- iv) Biodiversity Gain Site Register reference numbers (if using off-site units).

The biodiversity net gain plan must be completed using the DEFRA Biodiversity Gain Plan Template (or any subsequent update published on GOV.UK) and shall be implemented in accordance with the approved details.

Reason: This is a pre-commencement condition to ensure, before any development commences, that the development delivers a biodiversity net gain and secures the protection and effective management of the remaining habitat on site, in accordance with Schedule 7A of the Town and Country Planning Act 1990, the National Planning Policy Framework 2024 and Policy LP30 of the Huntingdonshire Local Plan to 2036.

Conditions for the outline element of the application (full wording)

Submission of Reserved Matters

30. No development shall commence until details of the appearance, landscaping, layout and scale, (hereinafter called the 'reserved matters') have been submitted to and approved in writing by the Local Planning Authority. The development shall be carried out as approved.

Reason: This is an outline permission only and these matters have been reserved for the subsequent approval of the Local Planning Authority.

Reserved Matters time limit

31. Application(s) for the approval of the reserved matters shall be made to the Local Planning Authority before the expiration of three years from the date of this permission.

Reason: To enable the Local Planning Authority to control the development in detail and to comply with Section 92 of the Town and Country Planning Act 1990, as amended.

Commencement time limit

32. The development hereby permitted shall be begun either before the expiration of three years from the date of this permission, or before the expiration of two years from the date of approval of the last of the reserved matters to be approved, whichever is the later.

Reason: To comply with Section 91 of the Town and Country Planning Act 1990, as amended.

Approved plans

33. The development hereby permitted shall be carried out in accordance with the approved plans listed in the table above.

Reason: For the avoidance of doubt and to facilitate any future application to the Local Planning Authority under Section 73 of the Town and Country Planning Act 1990.

Road surfacing

34. Prior to the first occupation of the dwellings hereby approved, the shared surface road shall be constructed to at least binder course surfacing level from the driveways of the dwellings to the adjoining highway carriageway (Bluntisham Road), in accordance with drawing no. JG01 Revision A.

Reason: In the interests of highway safety and to ensure satisfactory access into the site, in accordance with policies LP12, LP16 and LP17 of the Huntingdonshire Local Plan to 2036.

Closure of existing vehicular access

35. The existing access to Victoria House shall be permanently and effectively closed, and the highway verge shall be reinstated with grass on the west side of the new access in accordance with drawing no. JG01 Revision A, within 28 days of the bringing into use of the new access.

Reason: In the interests of highway safety and to ensure satisfactory access into the site, in accordance with policies LP12, LP16 and LP17 of the Huntingdonshire Local Plan to 2036.

Gates restriction

36. Notwithstanding the provision of Class A of Schedule 2, Part 2 of the Town and Country Planning (General Permitted Development) Order 2015, (or any order revoking, amending or re-enacting that order) no gates shall be erected across the approved access unless details have first been submitted to, and approved in writing by, the Local Planning Authority.

Reason: In the interests of highway safety and to ensure satisfactory access into the site, in accordance with policies LP12, LP16 and LP17 of the Huntingdonshire Local Plan to 2036.

Access width

37. The access shall be a minimum width of 6m, for a minimum distance of 10m measured from the near edge of the highway carriageway (Bluntisham Road).

Reason: In the interests of highway safety and to ensure satisfactory access into the site, in accordance with policies LP12, LP16 and LP17 of the Huntingdonshire Local Plan to 2036.

Highway construction specification

38. Prior to first occupation of the dwellings hereby approved, the vehicular access, where it crosses the public highway, shall be laid out and constructed in accordance with the Cambridgeshire County Council construction specification.

Reason: In the interests of highway safety and to ensure satisfactory access into the site, in accordance with policies LP12, LP16 and LP17 of the Huntingdonshire Local Plan to 2036.

Temporary facilities for construction vehicles

39. Temporary facilities shall be provided clear of the public highway for the parking, turning, loading and unloading of all vehicles visiting the site during the period of construction and demolition.

Reason: In the interests of highway safety, in accordance with policies LP12, LP16 and LP17 of the Huntingdonshire Local Plan to 2036.

Visibility splays

40. Prior to the first occupation of the dwellings hereby approved, visibility splays shall be provided each side of the vehicular access in full accordance with the details indicated on drawing no. JG02 Revision B. The visibility splays shall thereafter be maintained free from any obstruction exceeding 0.6m above the level of the adjacent highway carriageway in perpetuity.

Reason: In the interests of highway safety, in accordance with policies LP12, LP16 and LP17 of the Huntingdonshire Local Plan to 2036.

Access radii

41. Prior to the first occupation of the dwellings hereby approved, the junction of the access with the highway carriageway (Bluntisham Road) shall be laid out with 6m radius kerbs.

Reason: In the interests of highway safety and to ensure satisfactory access into the site, in accordance with policies LP12, LP16 and LP17 of the Huntingdonshire Local Plan to 2036.

Access drainage measures

42. Prior to first occupation of the dwellings hereby approved, the access shall be constructed with adequate drainage measures to prevent surface water run-off onto the adjacent public highway, in accordance with a scheme to be submitted to, and approved in writing by, the Local Planning Authority.

Reason: To prevent surface water discharging onto the public highway, in the interests of highway safety, in accordance with policies LP12, LP16 and LP17 of the Huntingdonshire Local Plan to 2036.

Access road surfacing

43. A metalled surface shall be provided for a minimum distance of 10m along the access road from its junction with the public highway (Bluntisham Road).

Reason: To prevent mud and extraneous material being deposited on the highway, in the interests of highway safety, in accordance with policies LP12, LP16 and LP17 of the Huntingdonshire Local Plan to 2036.

Off-site highway improvement works

44. Prior to first occupation of the dwellings hereby approved, a detailed scheme for the provision of the off-site highway improvement works, based on the details specified on drawing no. JG02 rev B, shall be submitted to, and agreed in writing by, the Local Planning Authority. The off-site highway improvement works shall be completed in full accordance with the approved scheme prior to first occupation of the dwellings hereby approved.

Reason: To ensure that the highway network is adequate to cater for the development proposed, and to ensure safe and suitable pedestrian access for future residents, in accordance with policies LP12, LP16 and LP17 of the Huntingdonshire Local Plan to 2036.

Levels

45. The 'scale' and 'landscaping' reserved matters application/s submitted in accordance with Condition 30 shall include details of finished ground floor levels of all buildings in relation to the existing and proposed site levels, the adjacent highway, and adjacent properties, together with details of levels of all accesses to include pathways, driveway, steps and ramps to above Ordnance Datum. The development shall be carried out in accordance with the approved details.

Reason: In order to achieve a satisfactory form of development in the interests of visual and residential amenity, in accordance with policies LP11, LP12 and LP14 of the Huntingdonshire Local Plan to 2036.

Foul water drainage scheme

46. No development above ground level shall commence until a scheme for the provision and implementation of foul water drainage has been submitted to, and approved in writing by, the Local Planning Authority. The scheme shall subsequently be implemented in accordance with the approved details prior to first occupation of the dwellings hereby approved, or in accordance with

an implementation programme agreed in writing with the Local Planning Authority.

Reason: To reduce the risk of pollution to the water environment and to ensure a satisfactory method of foul water drainage, in accordance with policies LP6 and LP37 of the Huntingdonshire Local Plan to 2036.

Surface water drainage scheme

47. No development above ground level shall commence until a scheme for the provision and implementation of surface water drainage has been submitted to, and approved in writing by, the Local Planning Authority. The scheme shall be implemented in accordance with the approved details prior to first occupation of the dwellings hereby approved, or in accordance with an implementation programme agreed in writing with the Local Planning Authority.

Reason: To ensure a satisfactory method of surface water drainage and to prevent the increased risk of flooding, in accordance with policies LP5, LP12 and LP15 of the Huntingdonshire Local Plan to 2036.

Tree protection

48. The 'layout' and 'landscaping' reserved matters application/s submitted in accordance with Condition 30 shall include an Arboricultural Method Statement and Tree Protection Plan. The approved tree protection measures shall be implemented prior to the commencement of any development and shall be retained intact for the duration of the construction, demolition and service installation works. The approved arboricultural methods shall be adhered to throughout the duration of the construction, demolition and service installation works. Any trees or hedges covered by the protection measures which die or become severely damaged within five years from the completion of the construction works shall be replaced with trees or hedge plants of similar size and species.

Reason: To safeguard the retained trees and hedges on and adjacent to the site and in the interests of visual amenity, and to enhance the character and appearance of the site, in accordance with Policies LP12 and LP31 of the Huntingdonshire Local Plan to 2036.

Cycle storage

49. The 'layout' reserved matter application submitted in accordance with Condition 30 shall include details of the facilities for the provision of secure cycle parking for use in connection with the dwellings hereby approved. The details shall include the siting, means of enclosure and cycle rack system (where relevant), appearance and materials. The facilities shall be provided in accordance with the approved details prior to first occupation of the dwellings and shall be retained as such.

Reason: To ensure appropriate provision for the secure storage of bicycles to encourage sustainable travel, in accordance with policies LP12, LP16 and LP17 of the Huntingdonshire Local Plan to 2036 and the Huntingdonshire Design Guide SPD 2017.

Bin storage

50. The 'layout' reserved matter application submitted in accordance with Condition 30 shall include details of the provision of bin stores for use in connection with the development. The details shall include, siting, means of enclosure, appearance and materials where appropriate. The facilities shall be provided in accordance with the approved details prior to first occupation of the dwellings hereby approved and shall be retained and only used as such.

Reason: To ensure appropriate provision for the secure storage of bins, in accordance with policy LP12 the Huntingdonshire Local Plan to 2036 and the Huntingdonshire Design Guide SPD 2017.

M4(2) standards

51. The dwellings hereby permitted shall be constructed and fitted out to comply with the Building Regulations 2010 (as amended) optional requirement M4(2) 'accessible and adaptable' (or replacement standard), prior to occupation. Such provision shall be maintained for the lifetime of the development.

Reason: To ensure the dwelling is accessible and adaptable, in accordance with policy LP25 of the Huntingdonshire Local Plan to 2036.

Water efficiency

52. The dwellings hereby permitted shall be constructed and fitted out to comply with the Building Regulations 2010 (as amended) optional requirement for water efficiency, as set out in Approved Document G (or replacement standards) prior to first occupation. Such provision shall be maintained for the lifetime of the development.

Reason: To ensure adequate water efficiency, in accordance with policy LP12j of the Huntingdonshire Local Plan to 2036.

Construction and demolition hours

53. No construction work or demolition work shall be carried out and no plant or power operated machinery operated other than between the following hours: 0800 hours and 1800 hours on Monday to Friday, 0800 hours and

1300 hours on Saturday and at no time on Sundays, Bank or Public Holidays.

Reason: To protect the amenity of the adjoining properties, in accordance with policy LP14 of the Huntingdonshire Local Plan to 2036.

Piling

54. In the event of piling, no development shall commence until a method statement detailing the type of piling, mitigation measures and monitoring to protect local residents from noise and/or vibration has been submitted to, and approved in writing by, the Local Planning Authority. Potential noise and vibration levels at the nearest noise sensitive locations shall be assessed in accordance with the provisions of BS 5228-1&2:2009 Code of Practice for noise and vibration control on construction and open sites. Development shall be carried out in accordance with the approved method statement.

Reason: To protect the amenity of the adjoining properties in accordance with Policy LP14 of the Huntingdonshire Local Plan to 2036.

Biodiversity mitigation measures

55. The development hereby approved shall be carried out in accordance with the mitigation measures (with the exception of the bat emergence survey which has already been carried out) specified on pages 56-59 of the Preliminary Ecological Appraisal Report & Biodiversity Net Gain Assessment, received by the Local Planning Authority on 4th February 2026.

Reason: To mitigate biodiversity impacts, in accordance with policy LP30 of the Huntingdonshire Local Plan to 2036.

Biodiversity Net Gain

56. The development (including site clearance and ground works) shall not commence until:
- a) A biodiversity net gain plan to achieve 10% biodiversity net gain (BNG) has been submitted to the planning authority; and
 - b) The planning authority has approved the plan.

The biodiversity net gain plan shall include, but shall not be limited to, the following:

- i) The completed metric calculation tool showing the calculations of the predevelopment and post intervention biodiversity values.
- ii) Pre and post development habitat plans
- iii) Legal agreement(s) where on site biodiversity net gain is proposed
- iv) Biodiversity Gain Site Register reference numbers (if using off-site units).

The biodiversity net gain plan must be completed using the DEFRA Biodiversity Gain Plan Template (or any subsequent update published on GOV.UK) and shall be implemented in accordance with the approved details.

Reason: To ensure the development delivers a biodiversity net gain and secures the protection and effective management of the remaining habitat on site, in accordance with Schedule 7A of the Town and Country Planning Act 1990, the National Planning Policy Framework 2024 and Policy LP30 of the Huntingdonshire Local Plan to 2036.

From: DevelopmentControl <developmentcontrol@huntingdonshire.gov.uk>
Sent: 18 March 2026 12:31:50 UTC+00:00
To: "DevelopmentControl" <DevelopmentControl@huntingdonshire.gov.uk>
Subject: Comments for Planning Application 26/00227/OUT

Comments summary

Dear Sir/Madam,

Planning Application comments have been made. A summary of the comments is provided below.

Comments were submitted at 18/03/2026 12:31 PM from Miss Jane Bowd - Needingworth PC.

Application Summary

Address:	Land At And Including Victoria House Bluntisham Road Needingworth
Proposal:	Hybrid planning application: Full planning permission for demolition of existing outbuildings, creation of a new vehicular and pedestrian access, creation of a new driveway and garaging to Victoria House, and conversion of existing annexe to a dwelling (including extensions, remodelling and re-landscaping). Outline planning permission (with all matters reserved except for access) for 5No. dwellings and associated works.
Case Officer:	Richard Fitzjohn

[Click for further information](#)

Customer Details

Name:	██████████ Needingworth PC
Email:	clerk@holywell-cum-needingworth-pc.gov.uk
Address:	Village Hall Overcote Lane Needingworth St Ives

Comments Details

Commenter Type:	Town or Parish Council
Stance:	Customer objects to the Planning Application
Reasons for comment:	
Comments:	Council noted this is a hybrid application which made the debate and resulting resolution more complicated.

It was noted that the plot was of a good size and in principle could accommodate 5 dwellings but as this part of the application is "outline" it is not definite.

The proposal seems to be sympathetic in design.

Concerns:

- Parking provision and HDC comment on the subject. Members felt that the provision could not be reduced for fear of roadside parking on a bend.

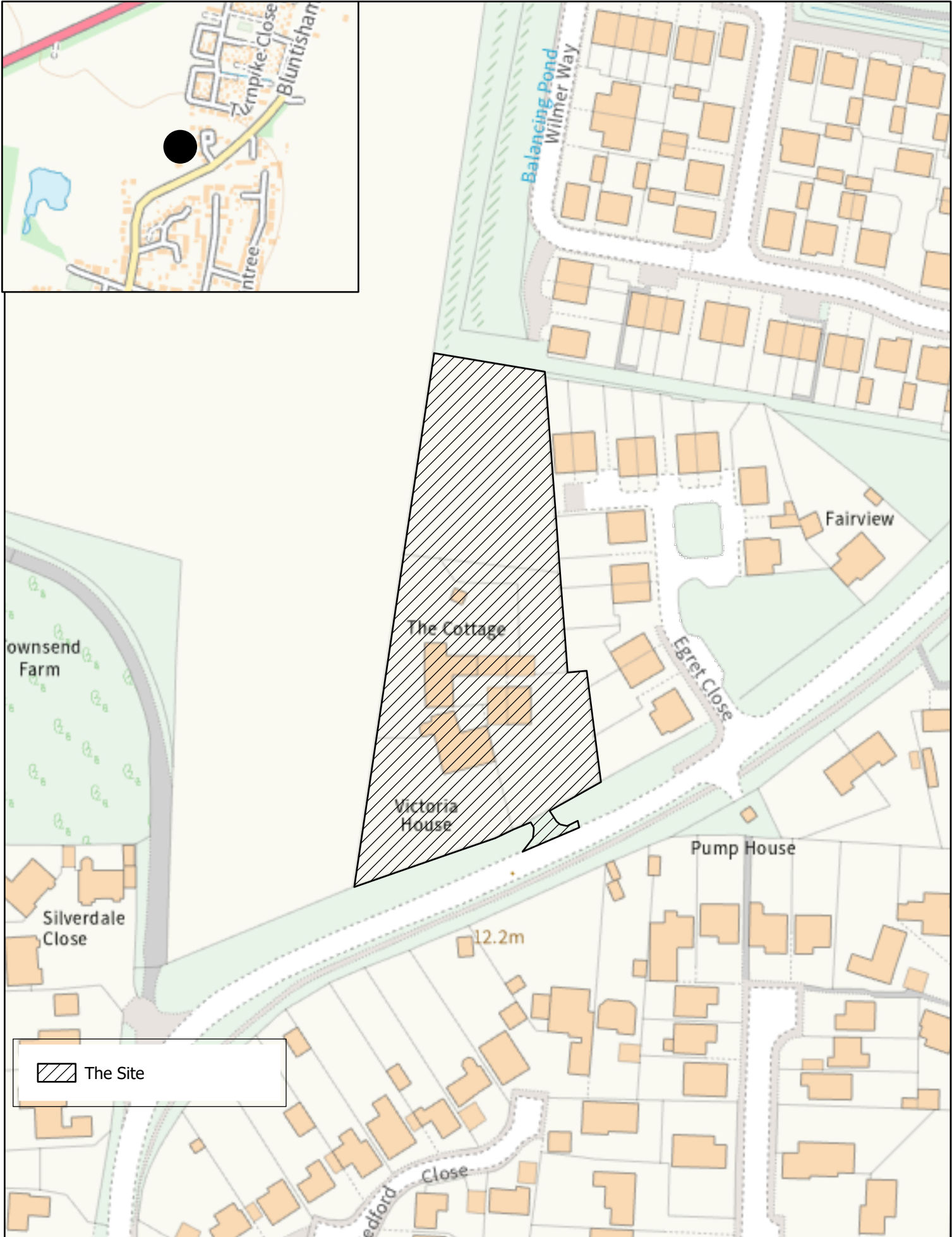
- Access needs to be two lanes but with no comments from CCC Highways it is unclear what the requirements will be.

- Lack of information with regards to neighbour privacy.

.Sewage treatment - marked as unknown. The local sewage works are already under pressure and are pumped out on a regular basis. Comments from AWA would be welcomed.

Resolved: That the application be objected to for the aforementioned reasons with members wanting a "full" application for consideration.

Kind regards





REVISION		
P01	Issued for PLANNING	06.03.26
P02	Issued for PLANNING	26.05.26



PROJECT NORTH



STATUS
RIBA S2
HYBRID PLANNING

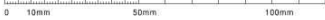
CLIENT
Mr & Mrs Smith
Victoria House
Bluntisham Road
Needlingworth
St Ives

PROJECT
Multi-dwelling Development:
Land adjacent to Victoria House
Bluntisham Road
Needlingworth
St Ives

DRAWING TITLE
Location Plan
(FUL - Detailed Proposals)

REVISION	P02
DRAWN BY	TB
APPROVED BY	TB
DATE	03.2026
JOB REFERENCE	BLU
SCALE + SIZE	1:1250 @ A3

SCALE BAR 100mm @ 1:1



REVISION

P01	Issued for PLANNING	06.03.26
P02	Issued for PLANNING	25.05.26



PROJECT NORTH



STATUS

RIBA S2
HYBRID PLANNING

CLIENT

Mr & Mrs Smith
Victoria House
Bluntisham Road
Needlingworth
St Ives

PROJECT

Multi-dwelling Development:
Land adjacent to Victoria House
Bluntisham Road
Needlingworth
St Ives

DRAWING TITLE

Location Plan
(OUT - Outline Proposals)

REVISION	P02
DRAWN BY	TB
APPROVED BY	TB
DATE	03.2026
JOB REFERENCE	BLU
SCALE + SIZE	1:1250 @ A3

SCALE BAR 100mm @ 1:1

0 10mm 50mm 100mm

REVISION

P01	Issued for PLANNING	30.01.26
P02	Issued for PLANNING	22.02.26
P03	Issued for PLANNING	06.03.26
P04	Issued for PLANNING	28.05.26

STATUS

RIBA S2
OUTLINE PLANNING

CLIENT

Mr & Mrs Smith
Victoria House
Bluntisham Road
Needlingworth
St Ives

PROJECT

Multi-dwelling Development:
Land adjacent to Victoria House
Bluntisham Road
Needlingworth
St Ives

DRAWING TITLE

Illustrative Site Layout
(Proposed)

REVISION

P04

DRAWN BY

TB

APPROVED BY

TB

DATE

01.20.26

JOB REFERENCE

BLU

SCALE + SIZE

1:200 @ A1

110

green line boundary denoting
extent of 'FUL' proposals

opportunity for mature tree to
be retained, RPA avoided with
any new construction nearby

detailed proposals for new garage and
driveway to serve Victoria House

detailed proposals for existing
annexe conversion (to form
self-contained dwelling)

opportunity for mature maple to
be retained, RPA avoided with
any new construction nearby

opportunity for consistent tree-lined
boundary to be included along
western boundary to arable land

opportunity to add density, visual quality
and biodiversity gain through enhanced
hedgerows to western boundary

existing cluster of
trees to be removed

opportunity to add density, visual quality
and biodiversity gain through enhanced
hedgerows to western boundary

the scale and positioning of buildings has
been arranged to allow for generous
private amenity space and landscape
retention, character yard spaces (rather
than visually dominant parking zones),
green planted margins

area of outline development
shown indicatively only -
masked out for clarity

opportunity for consistent
tree-lined boundary to be
included along northern
boundary to neighbouring
residential site

Indicative Layout Plan – Not for Construction

for detailed vehicular access
proposals refer to drawing
JG02_06226_VIS-PLAYS
(latest revision); access/
egress utilising the existing
access point from
Bluntisham Road, to be
remodelled

existing tree retained;

existing Root Protection Area (refer to Tree
Report for further details);

existing tree removed.

GENERAL NOTES

This drawing is indicative only and has been prepared to support an outline planning application.

All matters are reserved except for access, scale, massing and detailed design of the conversion of existing annexe. The number, size, siting and orientation of dwellings are illustrative and may be subject to change at Reserved Matters stage. Final layouts will be informed by detailed design development, technical constraints and discharge of planning conditions.

All dimensions are approximate and should not be scaled.

Parking provision is shown indicatively and will comply with Huntingdonshire District Council parking standards. Refuse and recycling storage and collection points will be provided in accordance with the HDC Design Guide and Waste Collection Authority requirements.

LEGEND

- A remodeled site access (5m wide carriageway for min. 10m into site);
- B high-quality hard surface as foreground to focal new dwelling at gateway into site;
- C focal new dwelling set back behind principal frontage building line of Victoria House, providing opportunity for landscaped front garden with feature tree planting;
- D pedestrian access retained to frontage of Victoria House;
- E deep landscaped margin with new hedgerows and wild flower planting;
- F new enclosed private driveway at rear of Victoria House, with access to new car barn, bound by tall brickwork wall;
- G existing bungalow retained and converted extended to form new self-contained dwelling;
- H driveway to serve remodeled bungalow;
- K existing willow retained as part of soft-landscaping margin;
- L private gated driveway to serve Plot 1, bound by tall brick wall;
- M deep landscape margin, with opportunity for enhanced tree planting, wild flower planting and retention of existing landscape features;
- N car barn/ storage barn (could be utilised for bin collection point, etc);
- P private gated driveway to serve Plot 3, bound by tall brick wall;
- Q private driveway to serve Plot 4;
- R rear 'yard' space with feature surface to create farmyard aesthetic;
- S private driveway to serve Plot 5.



tumbled brickwork boundary walls to delineate plots and provide 'agricultural' character to principal route through site



indicative cluster of new tree planting along western boundary to arable land - creates soft green screening to built form from countryside context



opportunity to add density, visual quality and biodiversity gain through enhanced hedgerows to western boundary

farmland

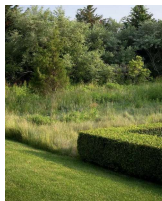
opportunity for mature maple to be retained, RPA avoided with any new construction nearby

opportunity for mature silver birch to be retained, RPA avoided with any new construction nearby

opportunity for mature maple to be retained, RPA avoided with any new construction nearby

opportunity for low shrubs/hedgerows to delineate and enhance frontages to plots

opportunity for shared amenity space to the corner of the shared yard space, with wide margin for wild flower planting (encouraging biodiversity gain) and trees



LEGEND

- private amenity - rear gardens, laid to lawn, hard surface patio areas, planting beds, shrubs to borders;
- green margin to frontages (combined private amenity front gardens and shared amenity landscape bands) - maintained areas of longer wild grasses, wild flowers;
- existing trees retained;
- proposed trees;
- existing hedgerow retained and enhanced;
- proposed hedgerows;
- proposed brickwork boundaries;
- proposed slatted timber fence boundaries.

REVISION

P01 Issued for PLANNING

30.01.25



indicative cluster of new tree planting along northern boundary to residential development beyond - creates privacy screening and retains green character of site when viewed from external viewpoint



indicative character of yard space with generous planters and margins between hard surfaces

STATUS

RIBA S2 OUTLINE PLANNING

CLIENT

Mr & Mrs Smith
Victoria House
Bluntisham Road
Needlingworth
St Ives

PROJECT

Multi-dwelling Development:
Land adjacent to Victoria House
Bluntisham Road
Needlingworth
St Ives

DRAWING TITLE

Illustrative Landscape Layout
(Proposed)

REVISION

P01

DRAWN BY

TB

APPROVED BY

TB

DATE

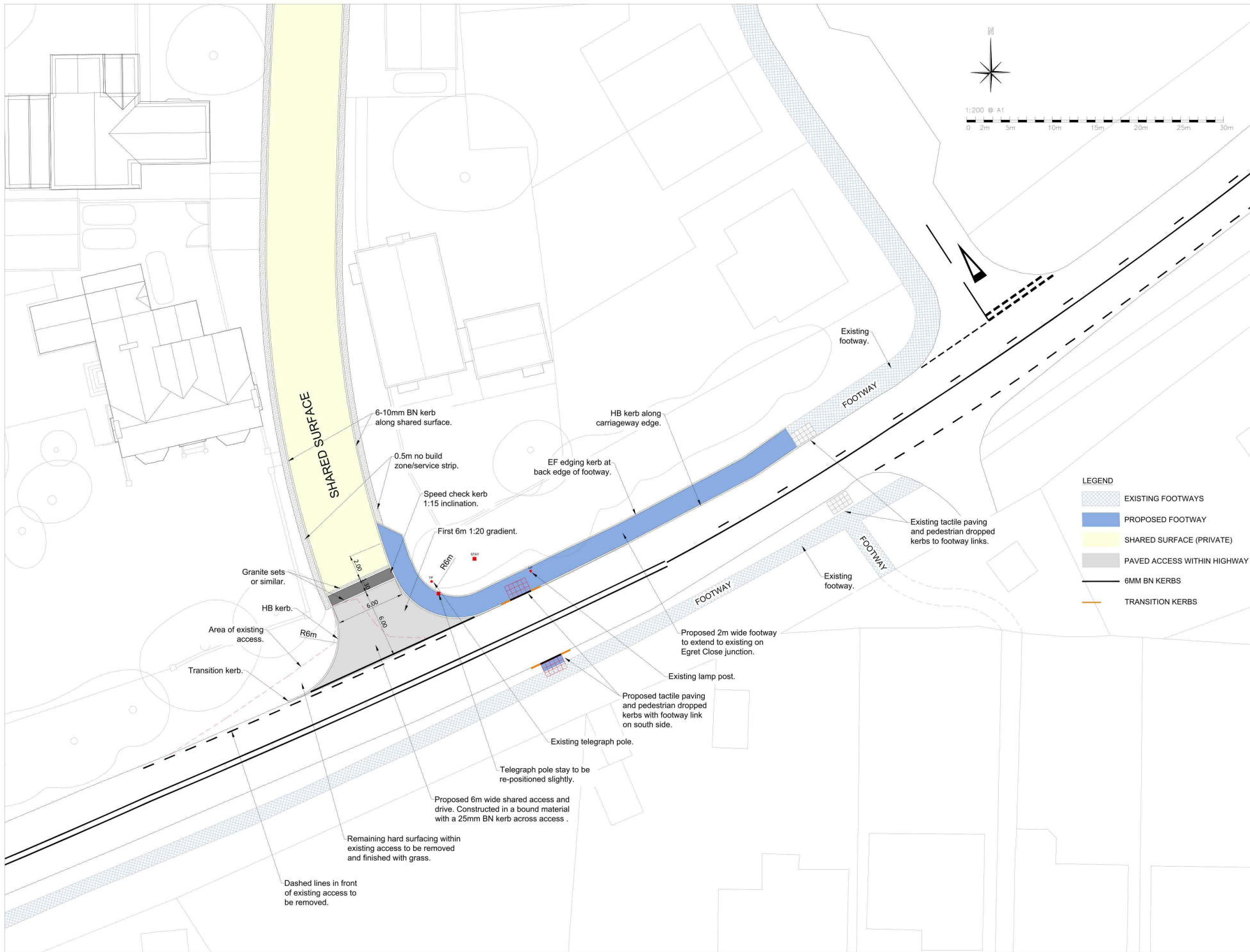
01.2026

JOB REFERENCE

BLU

SCALE + SIZE

1:200 @ A1



- LEGEND
- EXISTING FOOTWAYS
 - PROPOSED FOOTWAY
 - SHARED SURFACE (PRIVATE)
 - PAVED ACCESS WITHIN HIGHWAY
 - 6MM BN KERBS
 - TRANSITION KERBS



CLIENT:
XXXX

PROJECT:
PROPOSED
MULTI-DWELLING
DEVELOPMENT ON
LAND ADJACENT TO
VICTORIA HOUSE,
BLUNTISHAM ROAD,
NEEDINGWORTH, ST IVES
CAMBRIDGESHIRE

TITLE:
PROPOSED ACCESS AND
PEDESTRIAN FOOTWAY

STATUS:
PLANNING

DATE: 01.07.26 DRAWN BY: JG
JOB NO: JG06226 SCALE: 1:150 @ A1
REV: A DRAWING NO: JG01

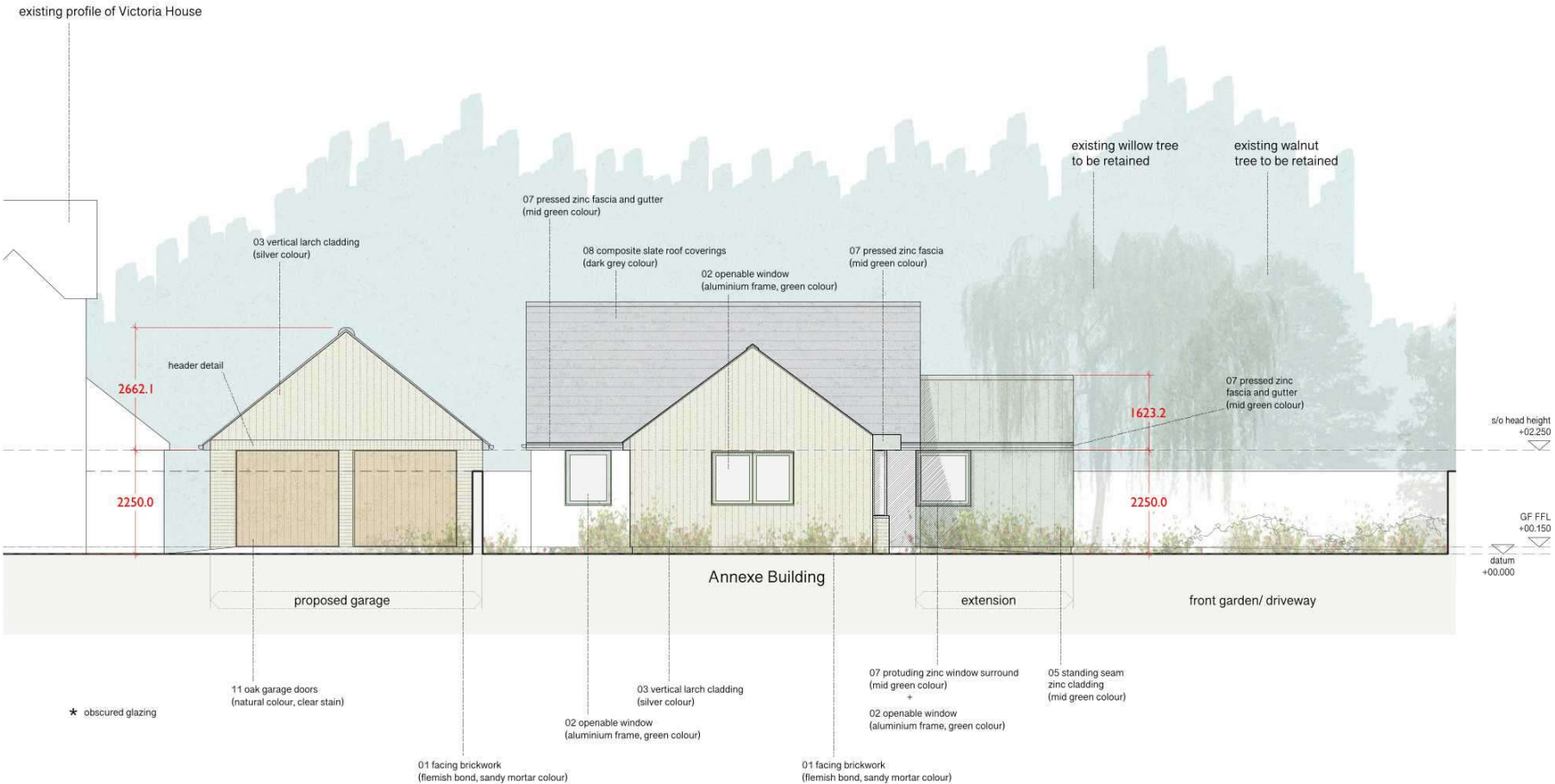
- NOTES
- This drawing and any ancillary drawings or data are copyright of JG Highway Design Ltd, and may not be used, copied, or amended for any purpose whatsoever without written approval.
 - This drawing is only to be used for the purposes described in the status box above.
 - All dimensions and levels to be checked on site by the contractor before commencement of any work.
 - If in doubt, ask.
 - This drawing is to be read in conjunction with all other drawings, details and specifications pertaining to the work described. It should only be used for the purpose marked in the status box above and shall not be used for construction unless clearly marked CONSTRUCTION.
 - Materials and workmanship shall comply to the appropriate British Standards and Codes of Practice unless otherwise stated.
 - The activities required to construct the work, shown on drawings clearly marked CONSTRUCTION, may be subject to the provisions of the Construction (Design & Management) Regulations 2015. The Contractor and Client must ensure that they are adequately conversant with these regulations and that the appropriate procedures required under the regulations are always observed.
 - Sweep path analysis: When generic vehicles are used for sweep path analysis, they may differ from specific makes and models of that type. Driver ability can vary hugely. What one driver is capable of, another may not be so any analysis shown to be tight on space will come down driver ability and the difference between make and models of vehicles.
 - UTILITIES NOTE: The position of any existing public or private sewers, utility services, plant or apparatus shown on this drawing is believed to be correct, but no warranty to this is expressed or implied. Other such plant or apparatus may also be present but not shown. The Contractor is therefore advised to undertake his own investigation where the presence of any existing sewers, services, plant, or apparatus may affect his operations.
 - Printed drawings not valid in black and white.

REVISIONS

A. Proposed dropped kerbs and tactile paving added to east side of access.



REVISION		
P01	Issued for PLANNING	30.01.26
P03	Issued for PLANNING	28.05.26



PROJECT NORTH



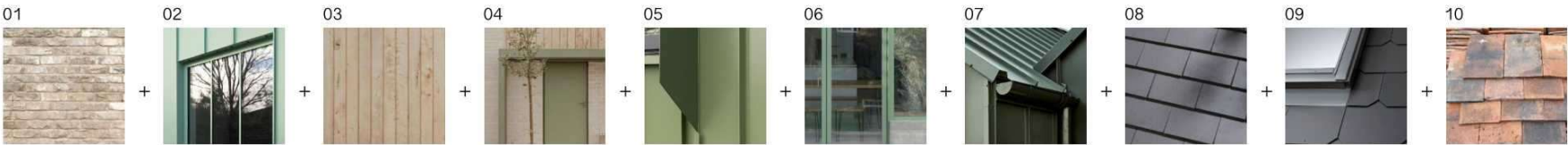
STATUS
RIBA S2
OUTLINE PLANNING

CLIENT
Mr & Mrs Smith
Victoria House
Bluntisham Road
Needlingworth
St Ives

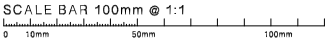
PROJECT
Multi-dwelling Development:
Land adjacent to Victoria House
Bluntisham Road
Needlingworth
St Ives

DRAWING TITLE
Annexe Extension + Conversion
Front Elevation (01)
(Proposed)

REVISION	P03
DRAWN BY	TB
APPROVED BY	TB
DATE	01.2026
JOB REFERENCE	BLU
SCALE + SIZE	1:100 @ A3



Materiality



REVISION		
P01	Issued for PLANNING	30.01.26
P02	Issued for PLANNING	22.02.26



PROJECT NORTH



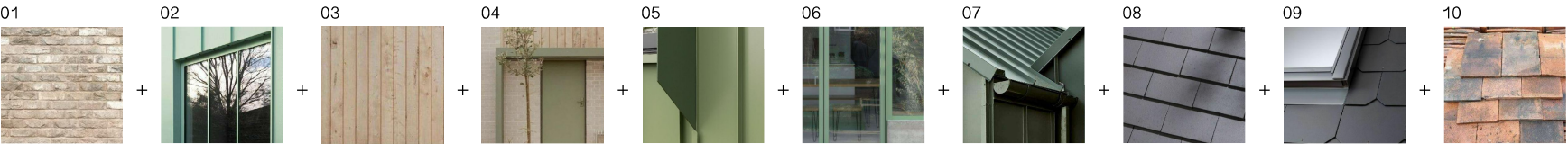
STATUS RIBA S2
OUTLINE PLANNING

CLIENT Mr & Mrs Smith
Victoria House
Bluntisham Road
Needlingworth
St Ives

PROJECT Multi-dwelling Development:
Land adjacent to Victoria House
Bluntisham Road
Needlingworth
St Ives

DRAWING TITLE Annex Extension + Conversion
Rear Elevation (04)
(Proposed)

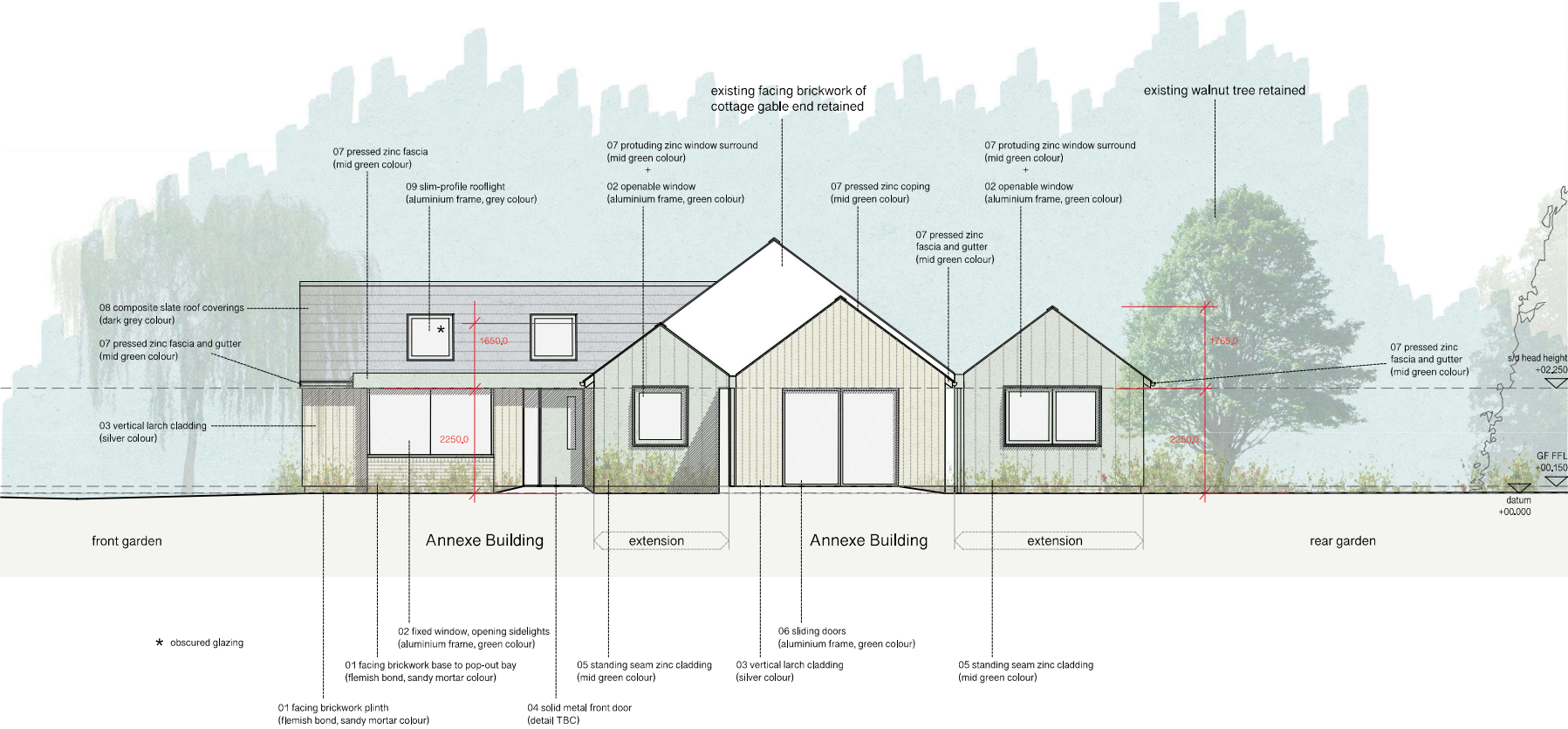
REVISION	P02
DRAWN BY	TB
APPROVED BY	TB
DATE	01.2026
JOB REFERENCE	BLU
SCALE + SIZE	1:100 @ A3



Materiality



REVISION		
P01	Issued for PLANNING	30.01.26
P02	Issued for PLANNING	22.02.26



PROJECT NORTH



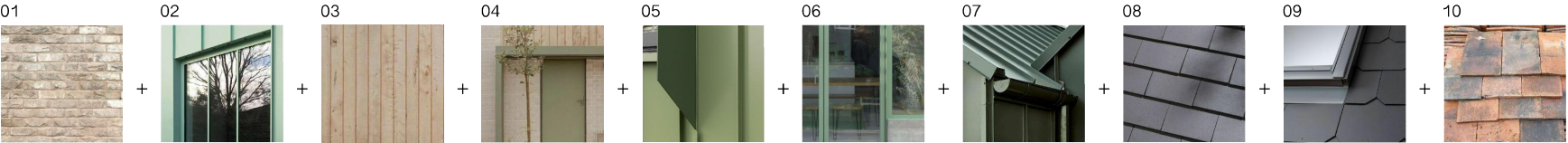
STATUS RIBA S2
OUTLINE PLANNING

CLIENT Mr & Mrs Smith
Victoria House
Bluntisham Road
Needlingworth
St Ives

PROJECT Multi-dwelling Development:
Land adjacent to Victoria House
Bluntisham Road
Needlingworth
St Ives

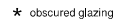
DRAWING TITLE Annexe Extension + Conversion
Side Elevation (05)
(Proposed)

REVISION	P02
DRAWN BY	TB
APPROVED BY	TB
DATE	01.2026
JOB REFERENCE	BLU
SCALE + SIZE	1:100 @ A3



Materiality

P01	Issued for PLANNING	30.01.26
P02	Issued for PLANNING	22.02.26

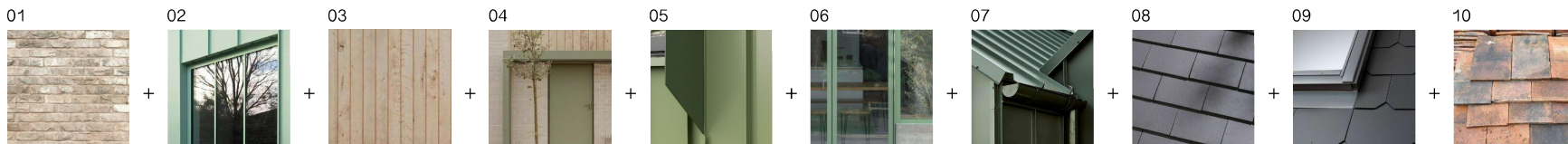


CLIENT Mr & Mrs Smith
Victoria House
Bluntisham Road
Needlingworth
St Ives

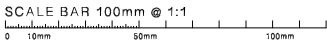
PROJECT Multi-dwelling Development:
Land adjacent to Victoria House
Bluntisham Road
Needlingworth
St Ives

DRAWING TITLE Annexe Extension + Conversion
Side Elevation (02)
(Proposed)

REVISION	P02
DRAWN BY	TB
APPROVED BY	TB
DATE	01.2026
JOB REFERENCE	BLU
SCALE + SIZE	1:100 @ A3



161



REVISION		
P01	Issued for PLANNING	30.01.26
P02	Issued for PLANNING	22.02.26

PROJECT NORTH



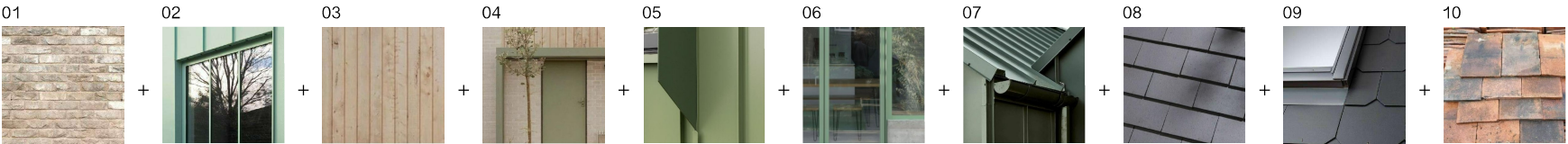
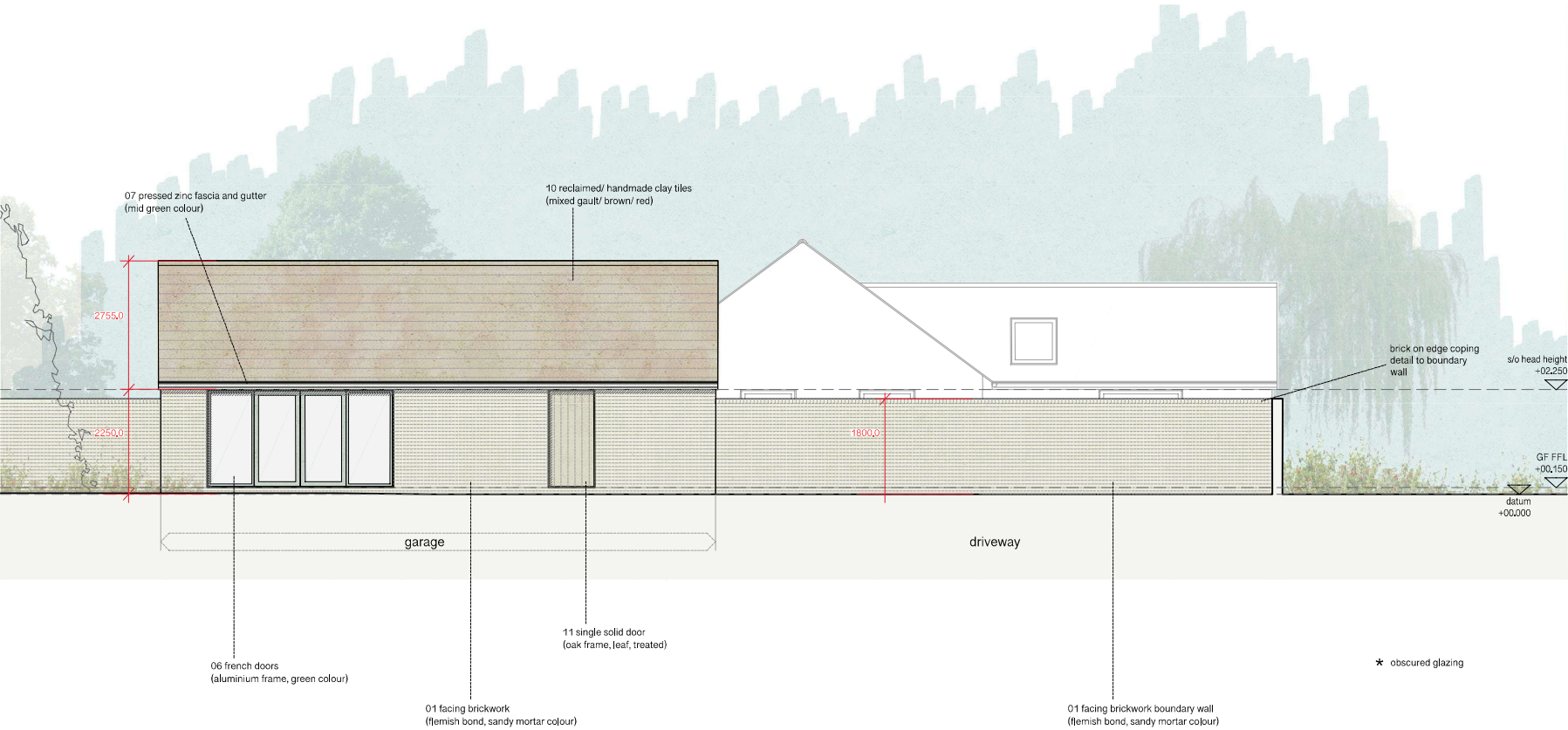
STATUS RIBA S2
OUTLINE PLANNING

CLIENT Mr & Mrs Smith
Victoria House
Bluntisham Road
Needlingworth
St Ives

PROJECT Multi-dwelling Development:
Land adjacent to Victoria House
Bluntisham Road
Needlingworth
St Ives

DRAWING TITLE Annexe Extension + Conversion
Side Elevation (03)
(Proposed)

REVISION	P02
DRAWN BY	TB
APPROVED BY	TB
DATE	01.2026
JOB REFERENCE	BLU
SCALE + SIZE	1:100 @ A3



Materiality